



**Village of Mount Prospect  
Planning and Zoning Commission  
Regular Meeting Agenda  
50 S. Emerson St. Mount Prospect, IL 60056**

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**January 8, 2026**

**Village Hall - 3rd Floor Board Room**

**7:00 PM**

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- 1. CALL TO ORDER**
- 2. APPROVAL OF MINUTES**
  - 2.1. PZ-15-25 / 605 W. Golf Road / Final Plat of Subdivision and CU: Preliminary and Final Planned Unit Development
- 3. NEW BUSINESS**
  - 3.1. PZ-31-25 / 200 S. Main Street / CU: Preliminary and Final Planned Unit Development / Village Board Final
- 4. CITIZENS TO BE HEARD**
- 5. QUESTIONS AND COMMENTS**
- 6. ADJOURNMENT**

ANY INDIVIDUAL WHO WOULD LIKE TO ATTEND THIS MEETING BUT BECAUSE OF A DISABILITY OR NEEDS SOME ACCOMMODATION TO PARTICIPATE, SHOULD CONTACT THE VILLAGE MANAGER'S OFFICE AT 847|392-6000, EXTENSION 5307



### Staff Presentation

Ms. Choi stated that the petition before the Planning and Zoning Commission was for approval of a preliminary and final Planned Unit Development (PUD) and a final plat of subdivision for the Trinity Church Resubdivision at 605 W. Golf Road. The petitioner is Jason Doland of Doland Engineering, LLC, on behalf of the property owner, Trinity United Methodist Church. The proposal would subdivide the property into six lots, including four single-family residential lots (Lots 1 through 4), one church lot (Lot 5), and one outlot (Outlot A) dedicated to stormwater detention and volume control. Ms. Choi reviewed the proposed site layout, access, parking for the church, and the role of Outlot A in managing stormwater for both the residential lots and the church property.

Ms. Choi explained that the PUD establishes bulk regulations, subdivision standards, and architectural diversity requirements to prevent repetitive building patterns within the subdivision. Ms. Choi summarized the architectural diversity standards and noted that staff reviewed the request for compliance with the conditional use and PUD standards and found them to be met. Ms. Choi stated that staff recommends approval of the final plat of subdivision and final PUD, subject to conditions related to homeowners' association documentation, removal of existing accessory structures, architectural diversity compliance, and aesthetic screening of stormwater infrastructure, and recommended that the Planning and Zoning Commission adopt staff's findings and forward a recommendation of approval to the Village Board, which would have final authority.

Ms. Choi stated that staff finds that the standards for a conditional use and planned unit development have been met, as set forth in the Petitioner's and staff's responses to the standards. Based on these findings, Ms. Choi recommended that the Planning and Zoning Commission make a motion to adopt staff's findings as the findings of the Planning and Zoning Commission and recommend approval of the following motions:

1. A final plat of subdivision titled "Trinity Church Resubdivision" prepared by Doland Engineering, LLC, and bearing the latest revision date of September 9, 2025, attached as Exhibit B in the staff report;
2. A conditional use for a final Planned Unit Development (PUD) consisting of six R-1 zoned lots including four lots (Lots 1, 2, 3 and 4) that are intended for the development of four separate single-family detached residential homes, one lot (Lot 5) that will remain as the church lot, and one lot (Outlot A) that is a separate lot designated for stormwater volume control and detention for Lots 1, 2, 3 and 4 and for accepting discharge from the detention storage on Lot 5, subject to the following conditions:
  - a. Prior to obtaining the first temporary certificate of occupancy for Lots 1 through 4, the Petitioner shall submit homeowners' association documents for staff review and approval. The document shall address long-term site maintenance, including the maintenance of "Outlot A".

- b. No sale of any parcel of land shall be consummated until the final subdivision plat has been approved by the Village Board.
- c. Any existing accessory structures located on Lots 1 through 4, including but not limited to the parking lot, playground equipment, light poles, and traffic signs, shall be removed in their entirety prior to the issuance of a building permit for the first home, but need not be removed prior to recording of the final plat.
- d. Architectural Diversity: To promote architectural diversity and avoid repetitive building patterns, no single-family dwelling constructed within the Trinity Church Resubdivision (Lots 1 through 4) shall be similar in appearance to any single-family dwelling located on the same street within a distance of two (2) lots in either direction of the subject lot.
  - i. Definition of “Similar in Appearance”: For purposes of this subsection, two dwellings shall be considered similar in appearance if they are identical or nearly identical with respect to any three (3) or more of the following architectural characteristics:
    1. Primary roof form, including the dominant roof type (gable, hip, mansard, gambrel, flat, or combination);
    2. Roof height, measured from finished grade to the peak, within a tolerance of +/- 2 feet;
    3. Front-facing massing, defined as the approximate height and width of the primary front wall plane closest to the front lot line;
    4. Overall front-elevation form, including the predominant silhouette and massing as viewed from the street;
    5. Fenestration pattern, including the relative location, arrangement, and size of windows on the front elevation;
    6. Garage configuration, including the location, orientation, and dimensions of garage doors visible from the street; and
    7. Primary exterior siding materials on the front elevation wall planes (e.g., brick veneer, horizontal siding, board-and-batten, shakes, or similar materials).
  - ii. Characteristics Not Constituting Dissimilarity: The following characteristics, standing alone, shall not be deemed sufficient to establish dissimilarity between dwellings:
    1. Variations in color;
    2. Variations in roofing material;
    3. Addition or deletion of minor decorative elements (including, but not limited to, dormers, cupolas, bay windows, belt courses, fan lights, chimneys, or ornamental features);
    4. Reversal of plan orientation (right-hand/left-hand orientation);
    5. Variation in window styles; and

6. Variations in height, width, or length measurements of less than five percent (5%), unless otherwise specified herein.
- iii. Submission and Approval Requirements: Prior to issuance of any building permit within the subdivision, the applicant shall submit:
  1. A proposed set of building elevations for all planned home models; and
  2. A streetscape diagram or lot assignment plan demonstrating compliance with the spacing requirement established in this subsection.

The Director of Community Development shall review the submitted elevations and lot assignments for compliance with the requirements of this subsection. Approved elevations and lot assignments shall be binding upon subsequent building permit reviews.

- e. All visible structures within the front yards of Lots 1 through 4 associated with the underground stormwater management system shall be screened and aesthetically enhanced, subject to the review and approval of the Community Development Director. Required improvements may include, but are not limited to, decorative surface treatments (such as stamped or stained concrete), landscape screening with shrubs and/or ornamental grasses, or other beautification measures deemed acceptable by the Community Development Director.”

### **Discussion**

Vice Chairman Beattie noted that approval of the request would result in the church having a single point of ingress and egress and questioned whether this access would be sufficient to accommodate traffic on the church’s busiest days. Ms. Choi responded that the proposal was reviewed by the public works department and fire department and no traffic concerns were raised given the attendance numbers for the church.

Vice Chairman Beattie asked whether the variations required for Outlot A would be addressed through the planned unit development. Ms. Choi responded that the planned unit development would provide relief for all deviations required for Outlot A, and that Lots 1 through 5 all comply with code.

Vice Chairman Beattie expressed surprise at the architectural diversity standards, noting that he had not previously encountered them during his service on the Planning and Zoning Commission. Ms. Choi responded that the standards are identified as a goal in the Village’s Strategic Plan and that the Commission should expect to see proposed text amendments early next year that would incorporate similar requirements. Vice Chairman Beattie then asked whether the standards could pose a challenge for the sale of the lots, noting that the burden would fall on the seller to identify a developer willing to accept the restrictions. This question was deferred to the petitioner.

Commissioner Costa asked whether the preschool associated with the church was still in operation. A church member in the audience responded that the preschool is no longer operating.

Hearing no further comments, Vice Chairman Beattie swore in the following speakers:

- Petitioner, Jason Doland, Doland Engineering LLC, 3939 N Wilke Rd, Arlington Heights, IL.
- Resident and neighbor, Jill Kaplan, 690 W Bel Aire Ln, Mount Prospect, IL.
- Resident and neighbor, Jason Fumo, 645 W Bel Aire Ln, Mount Prospect, IL.

Mr. Doland presented a few highlights of the proposal:

- The proposed single-family lots would exceed the minimum lot area and lot width requirements of the R-1 zoning district and would be comparable and compatible with the surrounding neighborhood;
- The new development would be a good neighbor by introducing new stormwater collection points along the southeast and southwest corners of Lot 4, thereby preventing runoff from the new development from discharging onto existing residential properties to the south.

Vice Chairman Beattie asked the Petitioner about the screening of structures in the front yard. Mr. Doland clarified that “structures” referred to the underground manholes with a large manhole lid associated with the stormwater management system. Mr. Doland stated that the developer could “soften” these by using landscaping.

Vice Chairman Beattie asked whether the architectural diversity standards would create an additional burden for the developer or the church. Mr. Doland responded that the standards would impose a burden; however, Mr. Doland acknowledged that similar requirements are anticipated in the near future as text amendments and stated that he understood they were being applied in this case because the zoning request would be approved prior to the adoption of the forthcoming text amendments. Mr. Doland acknowledged that the proposal represented a reasonable compromise with staff, allowing the subdivision to proceed with an unbuildable lot in exchange for incorporating architectural diversity requirements.

Commissioner Costa reiterated that the stormwater storage would be underground and asked what material would be on the surface. Mr. Doland responded that the surface would be composed of grass/turf lawn and that residents would be unaware of what would be under the surface. Commissioner Costa asked if the developer would pull a permit with the MWRD under the stormwater management ordinance. Mr. Doland responded that this subdivision is not subject to MWRD since the development is below the threshold but that the development would follow the same standards of the Village’s codes. Vice Chairman

Beattie commented that Outlot A would appear to read visually as an extension of the rear yards of the proposed residential lots rather than as a traditional depressed basin.

Commissioner Fricano asked whether the proposed stormwater management system would help alleviate existing stormwater issues for the homes located south of Lot 4. Mr. Doland responded that it would, explaining that the proposed storm sewer collection points would be located below the shared lot line and would capture runoff along that boundary rather than allowing it to discharge onto adjacent properties. Mr. Doland further noted that, under existing conditions, stormwater tends to stagnate along the lot line, and that this condition would be improved with the installation of the proposed swale and collection system. Mr. Doland stated that the new development would not add burdens to the existing homes.

Vice Chairman Beattie invited additional speakers to come to the podium. Ms. Kaplan stated that she resides directly south of Lot 4 and presented photographs showing standing water in her backyard following rain events, reiterating that stormwater issues exist on her property. Ms. Kaplan also noted that residents currently use the driveway as a pedestrian route to access the church and asked whether a sidewalk would be provided to maintain that connection. Additionally, she inquired whether a sidewalk could be installed along the west side of Linneman Road, noting that a sidewalk currently exists only on the east side. Ms. Kaplan also noted that there is a healthy tree that is located at the back end of the proposed Lot 4 and if the tree would be removed as part of the development.

Vice Chairman Beattie invited Mr. Fumo to speak. Mr. Fumo inquired whether the church intended to sell all four lots to a single developer or sell them individually, and expressed concern that a developer could potentially acquire all four lots and seek zoning relief to construct a higher-intensity, multi-family development. Vice Chairman Beattie responded that such a scenario would be difficult, as the planned unit development only permits single-family residential lots, and noted that single-family development is compatible with the surrounding neighborhood.

Vice Chairman Beattie invited Mr. Doland to respond to the stormwater-related questions. Mr. Doland stated that the proposed development would not shed stormwater off-site and explained that existing pooling occurs within the area of proposed Lot 4, where two new storm inlets would be installed. Ms. Kaplan indicated that her concerns involved both proposed Lot 4 and her property. Mr. Doland responded that while he could not address drainage conditions on private property, stormwater collected on Lot 4 would not impact adjacent yards, noting that the collection points would be approximately one foot lower than the surrounding areas to facilitate drainage and prevent water stagnation.

Vice Chairman Beattie requested a response to the second question regarding whether a sidewalk would be provided to preserve a pedestrian connection between the neighborhood and the church. Mr. Doland responded that no direct connection would be

provided, as the proposed side yards would abut one another; however, he noted that pedestrians could access the church via existing sidewalks on the east side of Linneman Road and along Golf Road.

Vice Chairman Beattie requested a response to the third question regarding whether the seller could prevent the removal of a healthy tree located at the rear of proposed Lot 4. Mr. Doland responded that, due to the tree’s location along the rear of Lots 3 and 4, a future homeowner could potentially work with the builder to preserve the tree as an amenity; however, the church could not guarantee its preservation.

Vice Chairman Beattie requested a response to the fourth question regarding whether the church intended to sell the four lots to a single developer or sell them individually. Mr. Doland stated that the church’s preference would be to sell all four lots to a single developer. Mr. Doland noted that if the lots were sold individually, a homeowners association would still be required to provide perpetual maintenance of the detention facilities and ensure compliance with the Village’s anti-monotony requirements, and that some level of development control would be maintained regardless of whether there was one developer or multiple developers.

Vice Chairman Beattie asked if there were any further questions for staff. Commissioner Fricano inquired whether the Village requires tree replacement if a tree is removed. Ms. Choi responded that replacement is not required unless the tree is designated for preservation. Vice Chairman Beattie noted that, based on prior residential developments, he was not aware of any requirements to retain site or perimeter trees and asked whether staff had considered such requirements for this project. Ms. Choi responded that staff did not propose imposing those requirements.

Hearing no further comments or questions, Vice Chairman Beattie closed the hearing and asked for a motion. Commissioner Szymczak made a motion and Commissioner Costa seconded the motion to approve the requests as listed in the staff report and repeated here:

1. A final plat of subdivision titled “Trinity Church Resubdivision” prepared by Doland Engineering, LLC, and bearing the latest revision date of September 9, 2025, attached as Exhibit B in the staff report;
2. A conditional use for a final Planned Unit Development (PUD) consisting of six R-1 zoned lots including four lots (Lots 1, 2, 3 and 4) that are intended for the development of four separate single-family detached residential homes, one lot (Lot 5) that will remain as the church lot, and one lot (Outlot A) that is a separate lot designated for stormwater volume control and detention for Lots 1, 2, 3 and 4 and for accepting discharge from the detention storage on Lot 5, subject to the following conditions:

- a. Prior to obtaining the first temporary certificate of occupancy for Lots 1 through 4, the Petitioner shall submit homeowners' association documents for staff review and approval. The document shall address long-term site maintenance, including the maintenance of "Outlot A".
- b. No sale of any parcel of land shall be consummated until the final subdivision plat has been approved by the Village Board.
- c. Any existing accessory structures located on Lots 1 through 4, including but not limited to the parking lot, playground equipment, light poles, and traffic signs, shall be removed in their entirety prior to the issuance of a building permit for the first home, but need not be removed prior to recording of the final plat.
- d. Architectural Diversity: To promote architectural diversity and avoid repetitive building patterns, no single-family dwelling constructed within the Trinity Church Resubdivision (Lots 1 through 4) shall be similar in appearance to any single-family dwelling located on the same street within a distance of two (2) lots in either direction of the subject lot.
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    - 4. Overall front-elevation form, including the predominant silhouette and massing as viewed from the street;
    - 5. Fenestration pattern, including the relative location, arrangement, and size of windows on the front elevation;
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- 3. Addition or deletion of minor decorative elements (including, but not limited to, dormers, cupolas, bay windows, belt courses, fan lights, chimneys, or ornamental features);
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UPON ROLL CALL    AYES: Szymczak, Beattie, Fricano, Costa,  
                              NAYS: None

The Planning and Zoning Commission gave a positive recommendation (4-0) for the next Village Board meeting to be held on January 6, 2026 and January 20, 2026.

After hearing no additional items of new business, Vice Chairman Beattie asked if there were any citizens to be heard.

Hearing no further discussion, Vice Chairman Beattie made a motion, seconded by Commissioner Szymczak, and the meeting was adjourned at 7:49 PM.

  
 Ann Choi, Development Planner



## Item Cover Page

**Subject**                                **PZ-31-25 / 200 S. Main Street / CU: Preliminary and Final Planned Unit Development / Village Board Final**

**Meeting**                                January 8, 2026 - REGULAR MEETING OF THE MOUNT PROSPECT PLANNING AND ZONING COMMISSION

**Fiscal Impact (Y/N)**

**Dollar Amount**

**Budget Source**

**Category**                                NEW BUSINESS

**Type**                                        Action Item

### Information

The "Petitioner", 200 S. Main Street, LLC (Arthur Holmer, authorized representative), is seeking conditional use approval for a preliminary and final planned unit development to construct a one-story restaurant located at 200 S. Main Street ("Subject Property"). The Village Board has final authority over the conditional use for a preliminary and final planned unit development. The proposal meets the requirements and standards of the Village Code, and Village Staff ("Staff") is supportive of the request.

### Discussion

**Background/Property History:** The Subject Property is located at the southwest corner of South Main Street and West Evergreen Avenue and was annexed into the Village in 1917. The property is zoned B-5 Central Commercial District and is surrounded by mixed-use and commercial development to the north, south, and east, and the St. Mark's Church gymnasium and parking lot (R-A District) to the west. The site was historically occupied by The Pure Oil service station from the mid-1950s until 1977, after which it was converted to a one-story office building. The office building was demolished in 2017, including removal of structures and asphalt to facilitate environmental remediation. Remaining asphalt was approved to remain in place, and site restoration requirements were deferred pending future redevelopment.

**Proposed Development:** The Petitioner proposes to construct a one-story, full-service restaurant with an outdoor dining patio and requests conditional use approval for a preliminary and final Planned Unit Development (PUD). The building is oriented toward Evergreen Avenue, with a secondary entrance on Main Street. Parking is provided west of the building and accessed from the public alley. Pedestrian connections are provided to public sidewalks along both street frontages. The restaurant includes a primary dining area, private dining spaces, outdoor patio seating along the north and east sides, and back-of-house functions located in the southern portion of the building. A trash enclosure and outdoor cooler are located at the southwest corner of the site.

**Zoning Compliance and Requested Relief:** The proposed building complies with the B-5 height, use, and transitional setback requirements, but does not meet the minimum front/exterior side yard setback requirements along Main Street and Evergreen Avenue, nor the off-street parking requirement.

Setbacks: The building is set back approximately 21.7 feet from Main Street and 23 feet from Evergreen Avenue, where average setbacks of 22.72 feet and 30 feet, respectively, are required.

Parking: Eleven (11) parking spaces are required; eight (8) spaces, including one accessible space, are provided, resulting in a deficiency of three (3) spaces.

Approval of the PUD would allow the requested zoning relief.

**Parking Context:** Although the site does not meet the minimum parking requirement, staff finds that adequate parking is available through a combination of on-site and nearby public parking resources, including new on-street parking on Evergreen Avenue, public parking at nearby Village facilities, the Wille Street lot, West Prospect Avenue, and the Metra parking lots that are available evenings and weekends.

**Public Improvements and Conditions:** Vehicular access to the parking area requires dedication of private property along the west property line for alley access. A plat of dedication is required and shall be recorded prior to issuance of a Certificate of Occupancy.

**Design, Signage, and Site Considerations:** The proposed building utilizes durable, high-quality materials and complies with the Downtown Design Guidelines related to façade articulation, transparency, entrances, and architectural detailing. Two wall signs are proposed and comply with sign area limitations. Final photometric, landscaping, and engineering plans will be reviewed and required at the building permit stage.

**Stormwater Management:** The site currently lacks stormwater controls and experiences localized flooding. Preliminary plans include on-site detention measures. Public Works/Engineering does not object to the request but requires further review during permitting and a determination from the MWRD regarding volume control requirements. Any significant site modifications would be subject to administrative approval by the Village Manager.

**Long-Range Planning:** The Comprehensive Plan designates the property as Downtown Mixed Use. The proposed restaurant is consistent with this designation and supports the continued activation and vitality of the downtown area.

**Public Comments:** As of this writing, no public comments have been received.

**Standards and Findings:** The Planning and Zoning Commission shall review the findings of fact in **Exhibit A** of the staff report and make a recommendation to the Village Board based on these findings.

## **Alternatives**

A. Approval of the following motion:

1. A conditional use for a preliminary and final Planned Unit Development (PUD) consisting of a one-story restaurant with outdoor dining, subject to the following conditions:
  - a. Deviations or exceptions from the Village's Zoning Code as necessary to permit

development of the Subject Property as a planned unit development in accordance with this Ordinance and the Approved Plans (as defined below), including all specific zoning deviations and exceptions set forth in the Petitioner's application materials;

b. Development of the site in strict conformance with the following Approved Plans dated 12/19/2025:

i. Architectural plan set (14 sheets) titled "New Free Standing One-Story Dine-In Service Restaurant With Exterior Patio Fatpour Tapworks Zoning Review Package: 12/19/2025" and prepared by Aria Group Architects, Inc.;

ii. Architectural elevations (6 pages) titled "Fatpour Tap Works Zoning Review" prepared by Aria Group Architecture + design, and dated December 4, 2025;

iii. Engineering plan set (10 sheets) titled "Site Improvement Plans for Fatpour Tap Works" and prepared by Jacob & Hefner Associates, Inc.;

c. Compliance with all applicable Village Code requirements, including, but not limited to zoning, fire, building, environmental health, sign, and other Village Codes and regulations;

d. The use of stucco or engineered stucco systems (EIFS - type) is prohibited;

e. The proposed solar panels shall not be visible when viewed from the public right-of-way or from residentially zoned property and shall be fully screened by the raised parapet wall. The Petitioner shall submit a glare analysis for the rooftop solar panels demonstrating that glare or reflected light will not adversely impact the Prospect Place building (11 W. Prospect Place) or its dwelling units. The analysis shall include seasonal variations of the sun and its reflection on the Prospect Place building/units;

f. Should stormwater management requirements imposed by MWRD and/or the Village's Public Works/Engineering Department require modifications to the site's design, staff recommends that such changes be subject to administrative review and approval by the Village Manager;

g. A five and seven-tenths-foot-wide (5.7') area extending along the entire length of the west property line shall be dedicated to the Village by the Petitioner through a plat of dedication. The plat of dedication shall be recorded prior to the issuance of a Certificate of Occupancy;

h. Submittal of irrigation and photometric plans that comply with Village codes and regulations;

i. All signs shall be submitted, reviewed, and approved during the permitting process. All signs shall conform to Village Code. Any future relief requested for signage shall require an application for a minor amendment to the PUD;

j. All rooftop mechanical equipment shall be hidden when viewed from ground level as viewed from the public right of way or property line of any adjacent residentially zoned property. Screening of the RTUs shall be a continuous, permanent, sound attenuating and noncombustible screen of a color compatible with the principal structure. The parapet wall shall be raised to provide full screening of any RTUs. The Director of Community Development is authorized to approve the design of any additional required screening;

k. The Petitioner shall address all comments included in the Village review letter dated December 29, 2025 (PZ-31-25) attached as **Exhibit B** of the staff report.

B. Action at the discretion of the Planning and Zoning Commission.

### **Staff Recommendation**

Approval of the following motion:

1. A conditional use for a preliminary and final Planned Unit Development (PUD) consisting of a one-story restaurant with outdoor dining, subject to the following conditions:

a. Deviations or exceptions from the Village's Zoning Code as necessary to permit development of the Subject Property as a planned unit development in accordance with this Ordinance and the Approved Plans (as defined below), including all specific zoning

deviations and exceptions set forth in the Petitioner's application materials;

b. Development of the site in strict conformance with the following Approved Plans dated 12/19/2025:

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c. Compliance with all applicable Village Code requirements, including, but not limited to zoning, fire, building, environmental health, sign, and other Village Codes and regulations;

d. The use of stucco or engineered stucco systems (EIFS - type) is prohibited;

e. The proposed solar panels shall not be visible when viewed from the public right-of-way or from residentially zoned property and shall be fully screened by the raised parapet wall. The Petitioner shall submit a glare analysis for the rooftop solar panels demonstrating that glare or reflected light will not adversely impact the Prospect Place building (11 W. Prospect Place) or its dwelling units. The analysis shall include seasonal variations of the sun and its reflection on the Prospect Place building/units;

f. Should stormwater management requirements imposed by MWRD and/or the Village's Public Works/Engineering Department require modifications to the site design, staff recommends that such changes be subject to administrative review and approval by the Village Manager via an application for a minor amendment to the PUD;

g. A five and seven-tenths-foot-wide (5.7') area extending along the entire length of the west property line shall be dedicated to the Village by the Petitioner through a plat of dedication. The plat of dedication shall be recorded prior to the issuance of a Certificate of Occupancy;

h. Submittal of irrigation and photometric plans that comply with Village codes and regulations;

i. All signs shall be submitted, reviewed, and approved during the permitting process. All signs shall conform to Village Code. Any future relief requested for signage shall require an application for a minor amendment to the PUD;

j. All rooftop mechanical equipment shall be hidden when viewed from ground level as viewed from the public right of way or property line of any adjacent residentially zoned property. Screening of the RTUs shall be a continuous, permanent, sound attenuating and noncombustible screen of a color compatible with the principal structure. The parapet wall shall be raised to provide full screening of any RTUs. The Director of Community Development is authorized to approve the design of any additional required screening;

k. The Petitioner shall address all comments included in the Village review letter dated December 29, 2025 (PZ-31-25) attached as **Exhibit B** of the staff report.

### Attachments

1. PZ-31-25 Staff Report
2. PZ-31-25 Administrative Content\_Redacted
3. PZ-31-25 Plans
4. PZ-31-25 Stormwater Management Report



**DATE:** January 1, 2026

**CASE NUMBER**

PZ-31-25

**PETITIONER / PROPERTY OWNER**

200 S. Main Street, LLC (Arthur Holmer) /  
 MJM Holdings I, LLC (Matthew J. Moran III)

**PUBLIC HEARING DATE**

January 8, 2026

**PROPERTY ADDRESS/LOCATION**

200 S. Main Street

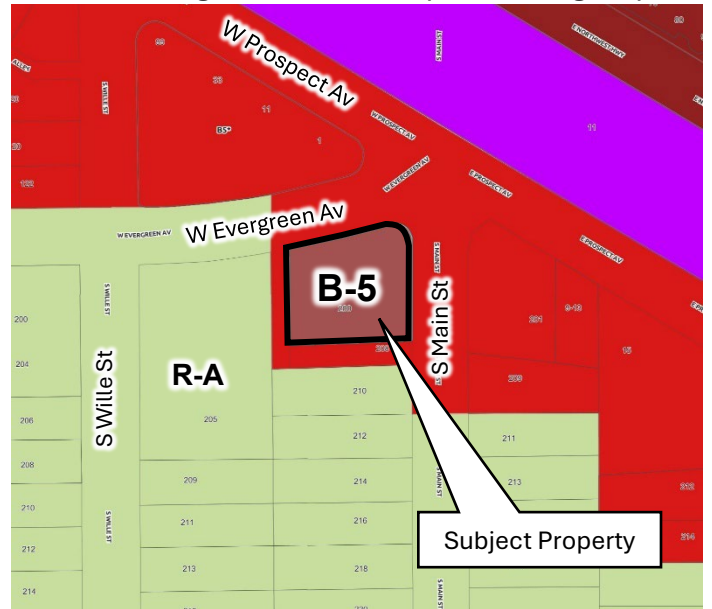
**BRIEF SUMMARY OF REQUEST**

The “Petitioner”, 200 S. Main Street, LLC (Arthur Holmer, authorized representative), is seeking conditional use approval for a preliminary and final planned unit development to construct a one-story restaurant located at 200 S. Main Street (“Subject Property”). The Village Board has final authority over the conditional use for a preliminary and final planned unit development. The proposal meets the requirements and standards of the Village Code, and Village Staff (“Staff”) is supportive of the request.

2024 Aerial Image



2025 Village of Mount Prospect Zoning Map



EXISTING ZONING	EXISTING LAND USE/ SITE IMPROVEMENTS	SURROUNDING ZONING & LAND USE	SIZE OF PROPERTY
B-5 Central Commercial	Vacant lot	North: B-5* Planned Unit Development East: B-5 Central Commercial South: B-5 Central Commercial West: R-A Single-Family Residential	0.396 acres

**STAFF RECOMMENDATION**

APPROVE

APPROVE WITH  
 CONDITIONS

DENY

## DISCUSSION OF PROPOSAL

### **BACKGROUND / PROPERTY HISTORY**

The Subject Property was annexed into the Village in 1917 and is located at the southwest corner of South Main St and West Evergreen Avenue. The subject property is zoned B-5 Central Commercial District and is bordered by Prospect Place (mixed-use development and B-5 Planned Unit Development) to the north, Hubby's Hotdogs (B-5 Central Commercial District) to the south, the gymnasium and associated parking lot for the St. Mark's Church (R-A Single Family Residential District) to the west, and commercial properties (vacant commercial building previously occupied by F45) to the east.

Historically, the site was occupied by a service station for The Pure Oil Company from the mid-1950s until 1977, at which time the structure was converted to a one-story office building. The office building was subsequently demolished in 2017. Permit records indicate that the demolition included removal of all existing buildings and asphalt as required to facilitate environmental remediation. The remaining asphalt was approved to remain in place, and site restoration requirements were waived pending future redevelopment of the property.

### **PROPOSAL**

The Petitioner is proposing to construct a full-service, one-story restaurant with an outdoor dining patio and seeks conditional use approval for a preliminary and final planned unit development (PUD). The various elements of the proposal are outlined below.

#### Site Plan

The proposed restaurant is situated approximately 23 feet from the north property line along Evergreen Avenue and approximately 22 feet from the east property line along Main Street. Parking is provided along the west side of the building and is accessible from the existing public alley. The main entrance to the proposed restaurant is located along Evergreen Avenue with a secondary entrance located on the Main Street elevation. Both main entrances are connected to the public sidewalks with private walkways. Additional entrance/exit doors are provided within the outdoor dining area and along the west elevation. A 7-foot-wide private walkway is provided between the parking and the west side of the building providing access to the restaurant.

#### Floor Plan

The proposed restaurant layout consists of a primary dining area located predominantly within the northern two-thirds of the building. Smaller private dining areas are situated at the northwest corner of the building, with restrooms located along the west. An outdoor dining patio is located along the north and east sides of the building and is partially covered by a wood-look pergola on the east patio. Back-of-house functions are located within the southern one-third of the building. An outdoor cooler is positioned at the southwest corner of the building, and the trash enclosure is located immediately west of the outdoor cooler.

#### Bulk Regulations

The following table outlines the project's compliance with the bulk regulation requirements for the B-5 Central Commercial District.

Table 1: B-5 Bulk Regulations			
B-5 Code Requirement		Proposed	Relief Required?
<b>Maximum Density</b> Section 14.1905.A.1	16 units/acre	Not Applicable	No
<b>Minimum Setbacks:</b> Section 14.1905.B <b>Front</b>	Average of all front yard setbacks long Evergreen Av block or <b>30'</b>	22'-11 ¾"	<b>Yes</b>
<b>Interior Side</b> (west lot line)	None	32' (7' after dedication)	No
<b>Exterior Side</b> (east lot line)	Average of all front yard setbacks long Main Street block or <b>22.72'</b>	21.74'	<b>Yes</b>
<b>Rear</b> (south lot line)	None	3'-11 ½"	No
<b>Max. Height</b> Section 14.1905.C	Three (3) stories or 35'	22'	No
<b>Minimum Open Space and Landscaping</b> Section 14.1905.D	Screening and perimeter landscaping requirements Section 14.2306	Compliant landscape plan required at time of building permit	No
<b>Restrictions on Business Uses</b> Section 14.1905.E	All business activities, servicing, processing, and storage, except for off street parking or loading, shall be conducted within completely enclosed buildings; except that outside display and sales, outside service areas, and drive-through/drive-in services may be allowed as regulated in the zoning code.	Complies	No
<b>Transitional Setbacks</b> Section 14.1905.F (west lot line)	5'	32' (7' after dedication)	No

### Parking

In the B-5 central commercial district, restaurants are required to provide four (4) parking spaces per 1,000 square feet of floor area in excess of 2,500 square feet. Pursuant to the zoning code, areas devoted primarily to storage, restrooms, and corridors used solely to access these areas from the parking calculation. The Petitioner has stated that there will be a maximum of 30 employees during the restaurant's peak times.

Table 2: Parking Requirement			
Code Section	Code Requirement	Provided	Relief Required?
<b>14.2207.1</b> Restaurant, sit down:	4 spaces per 1,000 SF in excess of 2,500 SF of floor area Gross floor area: 7,027 SF; 5,126 SF (no restrooms, corridors, storage); 2,626 SF (net area after 2,500 SF allowance) <b>= 11 parking spaces required</b>	8 parking spaces	<b>Yes</b>
<b>14.2205</b> Accessible spaces:	1-25 requires <b>one (1) accessible space</b>	1 accessible space	No

The proposed restaurant has a gross floor area of 7,027 square feet. Excluding restroom, corridor, and storage areas, the applicable floor area is 5,126 square feet. After subtracting the 2,500-square-foot allowance, the resulting area is 2,626 square feet and the parking requirement is eleven (11) parking spaces. A total of eight (8) parking spaces, including one (1) accessible parking space, are provided, resulting in a deficiency of three (3) parking spaces. The requested conditional use for a planned unit development allows parking and other zoning-related exceptions to be considered as part of the planned unit development approval.

Although the project will not meet the off-street parking requirement, Staff is confident that sufficient parking is available for both restaurant patrons and employees based on the amount of public parking provided on and adjacent to the site. The following public parking sources are as follows:

- The project will provide 8 off-street parking spaces accessible from the alley;
- As part of the Downtown Street Resurfacing Program, a fire lane was decommissioned and replaced with 15 new parking stalls along the south side of Evergreen Avenue.
- Once the Village finalizes the acquisition of the St. Mark Lutheran Church’s parsonage, gymnasium, and its associated parking lot, all 50 parking spaces will be available for public parking until future redevelopment of the site;
- The Wille Street parking lot (120 S Will St) provides 46 parking spaces that are free to the public for 4 hours;
- As part of the Prospect Avenue Al Fresco Dining Pilot Program, a total of ninety-two (92) parallel parking stalls were striped on Prospect Avenue west of Pine Street;
- The Metra parking lots also provide free parking (322 spaces) after 5 PM daily and on weekends.

It is worth noting that recent state legislation affecting local parking requirements has been enacted. The People Over Parking Act, which is part of a broader statewide transit and land-use reform bill (Senate Bill 2111), was approved by the Illinois General Assembly on October 31, 2025. The Act prohibits the imposition or enforcement of minimum automobile parking requirements for new development projects located within one-half mile of a public transportation hub or within one-eighth mile of a public transportation corridor, including transit stations and high-frequency bus routes. The Act is scheduled to take effect on June 1, 2026.

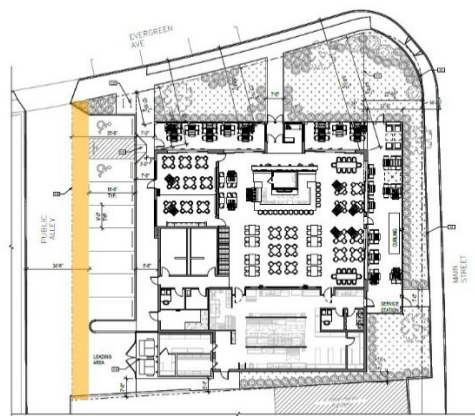


Figure 1: Area to be dedicated

### Plat of Dedication

Because the alley is required for vehicular access to and from these parking spaces, staff has requested that the parking area, which is approximately five and seven-tenths-foot-wide (5.7') extending along the entire length of the west property line shall be dedicated to the Village by the

Petitioner through a plat of dedication. The plat of dedication shall be recorded prior to the issuance of a Certificate of Occupancy. A condition of approval requiring the recording of a plat of dedication prior to the issuance of a Certificate of Occupancy has been included in staff's recommendation.

### Building Elevations

The proposed building materials include limewash brick, fiber cement wall panels, operable glass wall systems, standard brick, a wood-look metal pergola, and metal coping. A four-foot-tall masonry base is provided along all four building elevations. Staff has worked with the petitioner to improve the building elevations by replacing all EIFS/stucco finishes with fiber cement wall panels and standard-sized brick.

The project complies with the Downtown Design Guidelines, which require that building façades fifty feet (50') or greater in length and facing a front or exterior side lot line incorporate variations in depth, such as recesses and projections, to break up building massing, in addition to the provision of windows and building entrances along the façade. The Guidelines also require a minimum of one primary entrance on the front façade and that at least twenty-five percent (25%) of the first-floor façade area facing a front or exterior side lot line be devoted to glass windows and/or doors.

In addition, the Guidelines encourage articulated rooflines that incorporate architectural elements such as cornices, dormers, or parapet walls, and require the use of durable, high-quality building materials—such as brick, stone, and glass—on façades visible from the street. Other applicable site design standards address building setbacks, parking and loading areas, landscaping, pedestrian access, streetscape improvements, and bicycle facilities. Staff has evaluated the proposed project against the applicable Downtown Design Guidelines and finds that the proposal is in compliance with the standards set forth in the Zoning Code.

### Signage

Signage was illustrated on the north and east elevations. Staff counts a total of two wall signs. The wall sign on the north elevation measures approximately 50.2 square feet. The wall sign on the east elevation measures approximately 85.7 square feet. Both wall signs comply with code as they are below the maximum sign surface area permitted (150 square feet). The planned unit development will allow any future signage relief to be reviewed and approved as an administrative amendment to the PUD.

### Photometric Plan

The Petitioner will be required to address all comments provided in the Village review letter dated December 29, 2025 and attached as **Exhibit B** of the staff report. A compliant photometric plan will be required at time of building permit.

### Landscaping

A landscape plan was not included with the conditional use request. A fully compliant landscape plan will be required during the permitting process.

### Stormwater Management

The site currently does not have stormwater control mechanisms and the area is known to experience localized flooding during large rain events. Public Works/Engineering staff desires to provide stormwater control with this development to reduce the potential for future neighborhood flooding. Village Code requires stormwater detention for all new development but allows for "fee-in-lieu" for

small sites. Before considering this option, Public Work/Engineering staff requested that the applicant obtain a letter of determination from the Metropolitan Water Reclamation District (MWRD) to determine their stormwater management requirements for the site. This was not provided in the recent submittal.

The updated plans identify two small detention ponds and an underground facility for stormwater detention. The updated plans do not show volume control, a potential requirement of the MWRD, in the design. The Petitioner is required to contact the MWRD and receive a decision on this issue.

Public Works/Engineering does not object to conditional use approval as the plans show stormwater detention and the Petitioner has provided preliminary volume calculations. A thorough review of the detention design will be performed during the building permit review process. Should the MWRD require volume control, staff is open to reconsidering a fee in lieu of detention. This will be based on further analysis and a final decision by the Director of Public Works. Should the MWRD not require volume control, stormwater detention will be required per Village Code. Should stormwater management requirements imposed by MWRD and/or the Village's Public Works/Engineering Department necessitate significant modifications to the site design, staff recommends that such changes be subject to administrative review and approval by the Village Manager.

### **Preliminary and Final Planned Unit Development**

The proposed project does not comply with the minimum building setback requirements of Section 14.1905 along Main Street and Evergreen Avenue, nor does it meet the off-street parking requirement of Section 14.2207.1. Pursuant to Section 14.1905.B, where forty percent (40%) or more of the frontage between two intersecting streets is developed with buildings having front yard setbacks, the average of those setbacks establishes the minimum front yard setback for the entire frontage, not to exceed thirty feet (30'). Along the Subject Property's exterior side yard on Main Street, the established average setback is 22.72 feet, whereas the proposed restaurant is set back 21.74 feet. Along Evergreen Avenue, the substantial setback of the existing St. Mark's Church gymnasium establishes an average setback of 30 feet; however, the proposed restaurant is set back approximately 23 feet. In addition, Section 14.2207.1 requires a minimum of 11 off-street parking spaces, while only 8 spaces are proposed.

Due to these deviations from the Zoning Code, as summarized in **Tables 1 and 2**, the Petitioner is requesting approval of a conditional use for a preliminary and final planned unit development to grant the necessary zoning relief.

### **LONG-RANGE PLANNING**

The Future Land Use Map in the Village's Comprehensive Plan designate the Subject Property as Downtown Mixed Use. Primary uses within this category include retail, specialty shops, restaurants, bars, coffee shops, business/office, professional, service, cultural, arts and entertainment, and civic uses characteristic of a downtown area. The proposed development is a restaurant and will support the development of a vibrant downtown.

### **PUBLIC COMMENTS**

As of this writing, staff has not received any public comments.

### **STANDARDS AND FINDINGS**

The Planning and Zoning Commission shall review the standards and findings of fact outlined in **Exhibit A** and 1) accept them without changes, 2) accept them with changes, or 3) reject the findings.

The Planning and Zoning Commission shall use the findings of fact to guide their recommendation to the Village Board.

## STAFF RECOMMENDATION

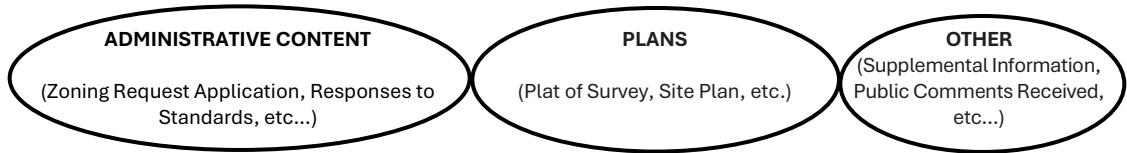
Staff finds that the standards for a conditional use and planned unit development have been met, as set forth in the Petitioner's and staff's responses to the standards. Based on these findings, Staff recommends that the Planning and Zoning Commission make a motion to adopt staff's findings as the findings of the Planning and Zoning Commission and **recommend approval** of the following motion:

1. A conditional use for a preliminary and final Planned Unit Development (PUD) consisting of a one-story restaurant with outdoor dining, subject to the following conditions:
  - a. Deviations or exceptions from the Village's Zoning Code as necessary to permit development of the Subject Property as a planned unit development in accordance with this Ordinance and the Approved Plans (as defined below), including all specific zoning deviations and exceptions set forth in the Petitioner's application materials.
  - b. Development of the site in strict conformance with the following Approved Plans dated 12/19/2025:
    - i. Architectural plan set (14 sheets) titled "New Free Standing One-Story Dine-In Service Restaurant With Exterior Patio Fatpour Tapworks Zoning Review Package: 12/19/2025" and prepared by Aria Group Architects, Inc.;
    - ii. Architectural elevations (6 pages) titled "Fatpour Tap Works Zoning Review" prepared by Aria Group Architecture + *design*, and dated December 4, 2025;
    - iii. Engineering plan set (10 sheets) titled "Site Improvement Plans for Fatpour Tap Works" and prepared by Jacob & Hefner Associates, Inc.;
  - c. Compliance with all applicable Village Code requirements, including, but not limited to zoning, fire, building, environmental health, sign, and other Village Codes and regulations;
  - d. The use of stucco or engineered stucco systems (EIFS - type) is prohibited.
  - e. The proposed solar panels shall not be visible when viewed from the public right-of-way or from residentially zoned property and shall be fully screened by the raised parapet wall. The Petitioner shall submit a glare analysis for the rooftop solar panels demonstrating that glare or reflected light will not adversely impact the Prospect Place building (11 W. Prospect Place) or its dwelling units. The analysis shall include seasonal variations of the sun and its reflection on the Prospect Place building/units.
  - f. Should stormwater management requirements imposed by MWRD and/or the Village's Public Works/Engineering Department require modifications to the site design, staff recommends that such changes be subject to administrative review and approval by the Village Manager via an application for a minor amendment to the PUD;
  - g. A five and seven-tenths-foot-wide (5.7') area extending along the entire length of the west property line shall be dedicated to the Village by the Petitioner through a plat of dedication. The plat of dedication shall be recorded prior to the issuance of a Certificate of Occupancy;
  - h. Submittal of irrigation and photometric plans that comply with Village codes and regulations;
  - i. All signs shall be submitted, reviewed, and approved during the permitting process. All signs shall conform to Village Code. Any future relief requested for signage shall require an application for a minor amendment to the PUD;
  - j. All rooftop mechanical equipment shall be hidden when viewed from ground level as

- viewed from the public right of way or property line of any adjacent residentially zoned property. Screening of the RTUs shall be a continuous, permanent, sound attenuating and noncombustible screen of a color compatible with the principal structure. The parapet wall shall be raised to provide full screening of any RTUs. The Director of Community Development is authorized to approve the design of any additional required screening;
- k. The Petitioner shall address all comments included in the Village review letter dated December 29, 2025 (PZ-31-25) attached as **Exhibit B** of the staff report.

The Village Board's decision is final.

**ATTACHMENTS:**



I concur:

Jason C Shallcross, AICP, CEcD  
Director of Community Development

**Exhibit A**  
**Standards and Findings of Fact**

**CONDITIONAL USE STANDARDS**

Section 14.203.F.8 of the Village of Mount Prospect Zoning Ordinance provides that a Conditional Use shall conform to the following requirements:

1. That the establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare;
2. That the conditional use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood in which it is to be located;
3. That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district;
4. That adequate public utilities, access roads, drainage and/or necessary facilities have been or will be provided;
5. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;
6. That the proposed conditional use is not contrary to the objectives of the current comprehensive plan for the village; and
7. That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the planning and zoning commission.

Petitioner's Findings: The Petitioner states that the proposed full-service restaurant is a permitted use within the B-5 Central Commercial District and is consistent with other similar restaurant uses located within the downtown area. The building is oriented toward Main Street and Evergreen Avenue, with the primary entrance and outdoor dining areas facing adjacent mixed-use and commercial properties, which the Petitioner states will help focus activity toward the downtown core and away from the single-family residential neighborhood to the south.

The Petitioner asserts that the proposed restaurant will not be detrimental to the public health, safety, or general welfare, nor will it be injurious to the use and enjoyment of nearby properties or negatively impact surrounding property values. According to the Petitioner, the project will activate a currently vacant and unused paved lot and contribute positively to the downtown area by adding a new dining option for residents.

The Petitioner states that the proposed conditional use will not impede the orderly development of surrounding properties and that adequate public utilities, access, and drainage will be provided through upgrades to existing infrastructure. A portion of the site along the west property line will be dedicated as an alley to provide access to on-site parking, the adjacent parking lot to the west, and properties located to the south.

The Petitioner acknowledges that not all required parking can be accommodated on-site due to site constraints, but states that on-site parking has been maximized and that additional parking will be available through public parking resources, including future Village-owned public parking, Metra parking lots, the Wille Street parking lot, W. Prospect Avenue, and on-street parking along Evergreen Avenue. The Petitioner further states that the proposed use is consistent with the objectives of the Village's

Comprehensive Plan and complies with all applicable zoning regulations, except as modified through the requested approvals.

Staff's Findings: Staff finds that granting the conditional use for a preliminary and final planned unit development will not be detrimental to the public health, safety, morals, comfort, or general welfare. The proposed restaurant use is consistent with the surrounding downtown neighborhood and replaces a vacant and underutilized site with an active use. The conditional use will not be injurious to the use or enjoyment of other property in the vicinity, as staff has recommended conditions of approval to mitigate potential impacts to adjacent properties, including limitations related to glare from solar panels, screening of rooftop mechanical equipment, and restrictions on building materials.

Staff further finds that adequate public utilities, drainage, and related facilities will be provided. The stormwater management system will be subject to detailed review as part of the building permit process to ensure compliance with Metropolitan Water Reclamation District (MWRD) and Village standards, including volume control and detention requirements.

While the project may increase traffic activity and demand for on-street parking, adequate parking is available through a combination of on-street parking along Evergreen and West Prospect Avenues, the St. Mark's Church gymnasium parking lot, the Wille Street parking lot, and nearby Metra parking facilities. Ingress and egress have been designed to minimize traffic congestion and ensure safe access to the site.

The proposed planned unit development will not impede the normal and orderly development of surrounding properties for uses permitted in the district. The proposal is consistent with the objectives of the Village's Comprehensive Plan, which designates the Subject Property as Downtown Mixed Use. Primary uses within this designation include retail, restaurants, entertainment, service, office, cultural, and civic uses characteristic of a downtown environment. The proposed restaurant use aligns with these objectives and supports the continued development of a vibrant and active downtown.

Based on the foregoing, staff finds that the proposed planned unit development, as conditioned, meets the standards for a conditional use and recommends approval of the requested conditional use.

## **GENERAL STANDARDS FOR PLANNED UNIT DEVELOPMENTS**

Section 14.504.A of the Village of Mount Prospect Zoning Ordinance provides that a Planned Development shall conform to the following requirements:

1. Except as modified by and approved in the final Planned Unit Development plan, the proposed development complies with the regulations of the district or districts in which it is to be located.
2. The principal use in the proposed Planned Unit Development is consistent with the recommendations of the Comprehensive Plan of the Village for the area containing the subject site.
3. The proposed Planned Unit Development is in the public interest and is consistent with the purposes of this zoning ordinance.
4. The streets have been designed to avoid:
  - a. Inconvenient or unsafe access to the Planned Unit Development;
  - b. Traffic congestion in the streets which adjoin the Planned Unit Development;
  - c. An excessive burden on public parks, recreation areas, schools, and other public facilities which serve or are proposed to serve the Planned Unit Development.

Petitioner's Findings: The Petitioner states that, except as modified through the proposed planned unit development approvals, the project complies with the applicable regulations of the B-5 Central Commercial District and that no additional noncompliance has been identified. The Petitioner asserts that the proposed restaurant use is permitted in the B-5 District and is consistent with the land use recommendations of the Village's Comprehensive Plan.

According to the Petitioner, the proposed planned unit development is in the public interest, as it will redevelop an existing vacant paved lot and introduce a new restaurant and entertainment option for residents of the Village and surrounding communities. The Petitioner further states that the site design provides safe and convenient access to the development through on-site parking to the maximum extent feasible and supplemental parking is available through public parking resources, including future Village-owned public parking, Metra parking lots, the Wille Street parking lot, W. Prospect Avenue, and on-street parking along Evergreen Avenue.

The Petitioner indicates that the proposed development will not result in traffic congestion on adjoining streets and will not place an excessive burden on public parks, recreational facilities, schools, or other public services. The Petitioner notes that restaurant uses are common within the B-5 District and that off-street parking has been provided to the maximum extent practicable.

Staff's Findings: Staff finds that, except as modified by and approved in the final Planned Unit Development, the proposed development complies with the regulations of the B-5 Central Commercial District. The proposed Planned Unit Development generally meets the intent of the underlying zoning district and conforms to applicable development standards, including building height and transitional yard requirements, except where relief is requested and evaluated as part of the Planned Unit Development.

Staff further finds that the principal use within the proposed Planned Unit Development is consistent with the Village's Comprehensive Plan. The Future Land Use Map designates the Subject Property as Downtown Mixed Use, which includes retail, restaurants, bars, business/office, service, cultural, entertainment, and civic uses characteristic of a downtown environment. The proposed restaurant use is consistent with this land use designation.

The proposed planned unit development is in the public interest and is consistent with the purposes of the zoning ordinance, as it facilitates the redevelopment of a vacant and underutilized property with a use permitted within the Downtown Mixed Use land use category. Stormwater management improvements will be reviewed in detail during the building permit process to ensure compliance with Metropolitan Water Reclamation District (MWRD) and Village requirements, including volume control and detention, addressing existing site conditions in the public's interest.

Staff finds that the proposed circulation and access design is adequate. Vehicular access to on-site parking and refuse collection is provided via the existing alley along the west side of the site, which is intended to maintain safe ingress and egress and limit traffic impacts on adjacent public streets. The proposed development is not anticipated to result in traffic congestion on surrounding streets or create an excessive burden on nearby public parks, recreation areas, schools, or other public facilities serving the area.

## STANDARDS FOR PLANNED UNIT DEVELOPMENTS WITH OTHER EXCEPTIONS

Section 14.504.C of the Village of Mount Prospect Zoning Ordinance states that the Village Board may approve planned unit developments which do not comply with the requirements of the underlying zoning district's regulations governing lot area, lot width, bulk regulations, parking and sign regulations, or which require modification of the subdivision design standards when such approval is necessary to achieve the objectives of the proposed planned unit development, but only when the Board finds such exceptions are consistent with the following standards:

1. Any reduction in the requirements of this chapter is in the public interest.
2. The proposed exceptions would not adversely impact the value or use of any other property.
3. Such exceptions are solely for the purpose of promoting better development which will be beneficial to the residents or occupants of the planned unit development as well as those of the surrounding properties.
4. In residential planned unit developments the maximum number of dwelling units allowed per acre shall not exceed forty eight (48) units per acre for developments incorporating senior housing or assisted living facilities.
5. All buildings are to be located within the planned unit development in such a way as to dissipate any adverse impact on adjoining buildings and shall not invade the privacy of the occupants of such buildings and shall conform to the following:
  - a. The front, side or rear yard setbacks on the perimeter of the development shall not be less than that required in the abutting zoning district(s) or the zoning district underlying the subject site, whichever is greater.
  - b. All transitional yards and transitional landscape yards of the underlying zoning district are complied with.
  - c. If required transitional yards and transitional landscape yards are not adequate to protect the privacy and enjoyment of property adjacent to the development, the Planning and Zoning Commission shall recommend either or both of the following requirements:
    - i. All structures located on the perimeter of the planned unit development must be set back by a distance sufficient to protect the privacy and amenity of adjacent existing uses;
    - ii. All structures located along the entire perimeter of the planned unit development must be permanently screened with sight-proof screening in a manner which is sufficient to protect the privacy and amenity of adjacent existing uses.
  - d. The area of open space provided in a planned unit development shall be at least that required in the underlying zoning district.

**Petitioner's Findings:** The Petitioner states that the proposed development does not fully comply with the front yard setback requirement along Main Street, which is established as the average of setbacks for properties between Evergreen Avenue and Milburn Avenue. The Petitioner explains that the building has been positioned as far west on the site as feasible; however, the outdoor patio and associated trellis structure extend into the required front yard setback. Given the limited size and configuration of the site, the Petitioner states that full compliance with the required setbacks along both Main Street and Evergreen Avenue is not feasible while accommodating the proposed restaurant use, making the requested setback relief necessary. The Petitioner contends that the majority of the building mass is located behind the established setback line and that all portions of the proposed structure are set farther back from Main Street than the existing restaurant immediately to the south.

The Petitioner states that the requested setback relief will not adversely impact the value or use of

adjacent properties. According to the Petitioner, occupants within the development will not be negatively affected by the placement of the outdoor patio within the front yard setback, as the distance between the patio and Main Street is comparable to other outdoor dining areas in the downtown area and is farther from the street than the existing restaurant building to the south. The Petitioner further states that the required transitional setback to the west has been satisfied and that minimum setbacks to adjacent properties to the west and south are met. The Petitioner notes that all mechanical equipment will be located on the rooftop and fully screened from public view by parapet walls. Trash dumpsters and exterior walk-in coolers will be screened by wood fencing.

Staff's Findings: Staff finds that the requested zoning relief for the proposed restaurant is in the public interest and is solely for the purpose of promoting better development. The requested exceptions from the minimum building setback requirements along Evergreen Avenue and Main Street are necessary because of the site's small size (approximately 0.40 acres) and its corner lot configuration. Strict application of the minimum setback requirements would reduce the buildable area of the site and limit the amount of area to accommodate an outdoor dining patio.

Staff further finds that the construction of a one-story restaurant with an outdoor dining patio will not adversely impact the value or use of adjacent properties. All required transitional yard requirements are satisfied. The proposed development is consistent with the Downtown Design Guidelines set forth in the Zoning Code and is compatible with the established character of the surrounding area.

Based on the foregoing, staff finds that the requested zoning relief is consistent with the standards for planned unit developments with other exceptions and supports approval of the proposed planned unit development.

**Exhibit B**  
**Village Review Letter**

**MAYOR**

Paul Wm. Hoefert

**TRUSTEES**

Vincent J. Dante  
Elizabeth B. DiPrima  
Terri Gens  
William A. Grossi  
John J. Matuszak  
Colleen E. Saccotelli



**VILLAGE MANAGER**

Michael J. Cassady

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**Village of Mount Prospect**

50 S. Emerson Street, Mount Prospect, Illinois 60056

December 29, 2025

Neal Thompson, Aria Group Architects  
830 North Boulevard  
Oak Park, IL 60301  
Via e-mail: [nthompson@ariainc.com](mailto:nthompson@ariainc.com)

**Re: PZ-31-25 (PZZ25-000035) / CU- Preliminary and Final PUD / 200 S Main St / Review  
Comments #1**

Dear Mr. Thompson,

The Village of Mount Prospect has reviewed the submittal for conditional approval of a planned unit development for the construction of a new, single-story restaurant with outdoor patio space located at 200 S Main Street (Subject Property), and below are the following review comments from applicable departments:

**Planning Division:**

The following documents are missing from the zoning application:

1. Fixture cut sheets for some lighting fixtures (refer to comments under Lighting Requirements);
2. Landscape plan meeting the requirements of Article XXIII Landscape Requirements;
3. Provide proof that the property taxes have been paid;
4. The zoning application fee in the amount of \$250 is outstanding and must be paid online (Permit No. PZZ25-000035).

General Comments:

5. Per Section 14.304.1(B)(2)(b), all rooftop mechanical equipment shall be hidden when viewed from ground level as viewed from the public right of way or property line of any adjacent residentially zoned property. For new construction, the screen should be designed as an architectural component of the structure in the form of a parapet wall. Provide a sight line diagram that indicates all rooftop mechanical units and solar panels will be fully screened by a raised parapet wall. **This will be required as a condition before permit issuance.**

## Exhibit B Village Review Letter

Village of Mount Prospect Building Services | Page 2

6. Solar panels are proposed. An analysis shall be performed that indicates that no glare shall be telegraphed or reflected on the Prospect Place building/units (11 W Prospect Place) so as to create a nuisance or hazard. The analysis shall include seasonal variations of the sun and its reflection on the Prospect Place building/units. **This will be required as a condition before permit issuance.**
7. Hours of operation are noted as between 11:00 AM – 1:00 AM daily. Will the restaurant offer any live music (bands/DJs)?
8. Loading will occur before 11:00 AM. Will any unloading occur prior to 6 AM?
9. Only one accessible parking space is required under Section 14.2205.
10. A portion of the public alley is within private property and will need to be dedicated to the Village via a plat of dedication prior to the issuance of a final certificate of occupancy.

Design standard requirements are found under Section 14.304.1 of the Village Code:

11. The area next to the accessible parking space and bike parking rack shall be landscaped per the parking lot-island requirements under Section 14.2306(A).
12. The colored elevations shall include a detailed materials schedule that provides the make and model number for each material. A materials board with sample materials is also required. The samples materials board and colored elevations will be required exhibit at the Planning and Zoning Commission and Village Board meetings (to be presentable to the Board one hour before meetings start). Please also provide a scanned version for staff to include in the powerpoint and staff report.

Lighting Requirements are found under Article III, Section 14.314 of the Village Code:

13. A code-compliant Photometric Plan shall be submitted prior to the issuance of a building permit.
14. Photometric data **at all property lines** shall be provided at a spacing of not greater than fifty feet (50') and not greater than six inches (6") above grade. Photometric data is missing along the north, south and east property lines.
15. Provide a graphic scale and north arrow the scale of which is not less than one inch to fifty feet (1" = 50').
16. Many of the light fixture symbols are difficult to read as the text is running into or on top of each other on the photometric plan. The photometric plan must be legible.
17. The foot-candle measurements along the west property line exceed the maximum requirement of 0.1 foot-candles at the lot line.
18. Per the calculation summary, the west patio seating area proposes an average illumination level of 7.30 foot-candles and exceeds the maximum average illumination level of 5 foot-candles permitted for business districts.
19. Will the lighting fixture "XLED 1" be fully recessed within the underside of the canopies? These lighting fixtures shall not cause glare onto adjacent properties and rights-of-way.
20. Per Section 14.314(C):

## Exhibit B Village Review Letter

Village of Mount Prospect Building Services | Page 3

- a. Upward aimed building facade lighting shall not exceed nine hundred (900) lumens (60 watt incandescent or 13 watt compact fluorescent bulb). All upward aimed light shall be fully shielded, fully confined from projecting into the sky by eaves, roofs or overhangs, and mounted as flush to a wall as possible.
  - b. Building facade light exceeding nine hundred (900) lumens shall be fully shielded, aimed downward, and mounted as flush to a wall as possible.
  - c. Building facade lighting shall be fully contained within the vertical surface of the wall being illuminated.
  - d. Building facade lighting that is measurable at the ground level shall be included in the maximum allowable light levels.
21. Exterior lighting, including emergency lighting, shall be fully cutoff and shall have flat lenses. Submit fixture cut sheets of all exterior lighting, including emergency lighting. Fixture cut sheets were not submitted for lighting fixtures “B”, “P” and “W”.

Landscape Requirements are found under Article XXIII of the Village Code:

22. A code-compliant landscape plan shall be submitted prior to the issuance of a building permit.
- a. Staff cannot provide any comments on landscaping as no landscape plan was submitted for review. The applicant shall provide a landscape plan that complies with Sections 14.2303 and 14.2304.
  - b. Site/perimeter, screening and foundation landscaping shall be provided and meet Sections 14.2306 and 14.2307.
  - c. Per Section 14.2306(B)(2), landscaping shall be provided across fifty percent (50%) of the abutting lot line to a minimum height of three feet (3'). For lot lines greater than one hundred feet (100') in length, plantings shall be placed in clusters, containing a minimum of seven (7) shrubs per cluster, spaced at intervals of approximately thirty-five feet (35') along the lot line. Shade trees shall be provided at the equivalent of seventy-five feet (75') apart along the abutting lot line.

Signage Regulations are found under Chapter 7 of the Village Code:

23. Signage was illustrated on two elevations in the rendering. Staff counts a total of two wall signs. The wall sign on the north elevation measures approximately 77 square feet and appears to comply with code. The wall sign on the east elevation measures approximately 85 square feet and appears to comply with code.
24. If any additional signage is requested, please submit sign drawings for review. Any future signage relief shall be reviewed and approved as an administrative amendment to the PUD.

Responses to Standards:

25. Revise the Standards For Planned Unit Developments With Other Exceptions to include the following relief requests:

## Exhibit B Village Review Letter

Village of Mount Prospect Building Services | Page 4

- a. An exception from Section 14.319 to permit a patio to be located in the front and exterior side yards;
  - b. An exception from Section 14.2207.1 to permit a reduction in the minimum parking requirement from eleven (11) parking spaces to eight (8) parking spaces;
  - c. An exception from Section 14.1905.B to permit a reduced building setback of less than 22.72' along Main Street; and
  - d. An exception from Section 14.1905.B to permit a reduced building setback of less than 30' along Evergreen Avenue.
26. Revise the Standards for Planned Unit Developments to remove reference to a shared parking agreement between the Petitioner and the property owner to the west. Public parking will be available on the property once the Village takes ownership. Public parking is also available on the Metra lots, Wille Street parking lot, W Prospect Avenue and along Evergreen Avenue.

Due at time of Building Permit submittal:

27. Irrigation plan.
28. Solar panel drawings and specifications.
29. Glare analysis for the rooftop solar panels.
30. A code-compliant landscape plan.
31. A code-compliant photometric plan and fixture cut sheets.

**Public Works Department:**

PW has reviewed the plans submitted for the Fatpour development proposed at 200 S. Main Street. While we do not object to the basic concept, the concerns raised in the concept reviews regarding the proposed site drainage remain unaddressed. The following comments should be addressed before conditional use is granted:

Drainage Concerns

32. Per VoMP Code Sections 15.401 & 15.402, stormwater detention would be required. The plan should include some means of providing stormwater detention.
33. Per MWRD WMO Section 503.3, volume control may be required. *We again strongly recommend obtaining a Letter of Determination from the MWRD to confirm their stormwater management requirements.*

We understand the applicant's response that these items "will be addressed at a later date". However, while we do not require full, detailed calculations prior to conditional use approval, the applicant needs to provide some preliminary estimate of any storage volumes required (including both Village and MWRD requirements) so that we can have some assurance that sufficient space will be provided to accommodate the required volumes. Despite requesting

## Exhibit B Village Review Letter

Village of Mount Prospect Building Services | Page 5

this information on June 2, 2025, and again on August 8, 2025, the applicant has provided no information regarding any drainage design, nor has the applicant provided a letter of determination from the MWRD.

In addition, the following comments listed below need not be addressed prior to conditional use approval, but will have to be addressed prior to issuance of a Building Permit:

34. A documented flooding problem exists in the backyards of the neighboring residential properties south and west of the site. Site drainage must be directed as much as possible toward the north and east.

### General Comments

35. Permits will be required from the Metropolitan Water Reclamation District of Greater Chicago (MWRD) for the new sanitary service and drainage improvements, and from the Illinois Department of Transportation (IDoT) for any work in Main Street.
36. Public Works has reviewed the updated plans submitted for the Fatpour development proposed at 200 S. Main Street. The applicant, unfortunately, did not fully address our December 10, 2025 comments regarding stormwater management. The site currently does not have stormwater control mechanisms and the area is known to experience localized flooding during large rain events. It is Staff's desire to provide stormwater control with this development to reduce the potential for future neighborhood flooding. Village Code requires stormwater detention for all new development but allows for "fee-in-lieu" for small sites. Before considering this option, Staff asked the applicant to obtain a letter of determination from the MWRD to determine their stormwater management requirements for the site. This was not provided in the recent submittal.

The updated plans identify two small detention ponds and an underground facility for stormwater detention. They do not show volume control, a potential requirement of the MWRD, in the design. The applicant is required to contact the MWRD and receive a decision on this issue.

Public Works does not object to conditional use approval as the plans show stormwater detention and the applicant has provided preliminary volume calculations. A thorough review of the detention design will be performed during the Building Permit review process. Should the MWRD require volume control, Staff is open to reconsidering a fee in lieu of detention. This will be based on further analysis and a final decision by the Director of Public Works. Should the MWRD not require volume control, stormwater detention will be required per Village Code. In either case, should meeting the stormwater management requirements determined by both the MWRD and Engineering staff for the site significantly

## Exhibit B Village Review Letter

Village of Mount Prospect Building Services | Page 6

alter the site design, Staff recommends the applicant be required to return to the Planning & Zoning Commission and Village Board for approval.

Permits will be required from the MWRD for the sanitary sewer service and potential stormwater management requirements, and from IDOT for any work within the Main Street (IL Route 83) right-of-way.

It must be understood that the comments listed above reflect issues noted during a review of the proposed concept. A thorough review of the site design and details will be performed as part of the Building Permit review process.

### **Building Department:**

37. At time of permit submittal provide building code analysis that outlines use groups, types of construction, areas, and calculations based on the adopted Village codes. Include full Electric, Structural, Plumbing, and Mechanical drawings.
38. Planning is responsible from a Zoning analysis review, process, and approval of use including the Business License approval.
39. The walk-in cooler unit shall be NSF listed and labeled.

### **Environmental Health Division:**

40. Permit to be submitted for food service establishment should comply with all regulations of the 2022 FDA Food Code.

### **Fire Department:**

Please advise the petitioner the following items must be included in the building/site plans submittal:

41. A fire sprinkler system in accordance with NFPA 13 will be required for this project for this building. Ensure fire sprinkler shop drawings, hydraulic calculations, and equipment cut sheets are submitted for review.

Village of Mount Prospect Fire Prevention Code, 24.202

42. A fire alarm system will be required for this project for this building. Ensure fire alarm shop drawings point-to-point wiring diagrams, battery load calculations, and equipment cut sheets are submitted for review.

Village of Mount Prospect Fire Prevention Code, 24.204

43. All new sprinkler risers and associated equipment shall be located in a separate room with a minimum of one-hour construction.

## Exhibit B Village Review Letter

Village of Mount Prospect Building Services | Page 7

44. A minimum of three feet (3') clear space shall be maintained around the circumference of any new or existing fire hydrant, fire department connection, fire protection control valve or any other fire protection system component.
45. An egress plan must be provided for the space. This plan must include occupant loads, travel distances, egress widths and common path of travel distances. An egress plan will be required when the building plans are submitted for review. Additional exits may be required.
46. All egress doors are to use keyless locksets on the egress side. No flush bolts, dead or draw bolts, etc. will be allowed.

Life Safety Code, 7.2.1.5.1.

**If any changes are requested, please make the changes as noted above and submit a point-by-point response letter and pdf files of the drawings.** Please upload revisions into the portal. Feel free to contact me at (847) 818-5314 / [achoi@mountprospect.org](mailto:achoi@mountprospect.org) if you have any questions.

Sincerely,



Ann Choi  
Development Planner  
Community Development

c: File



Village of Mount Prospect  
Community Development Department  
50 S. Emerson Street  
Mount Prospect, Illinois 60056  
Phone: (847) 818-5328

### Zoning Request Application

Official Use Only (To be completed by Village Staff)			
Case Number:	<u>PZZ25-000035</u>	Date of Submission:	<u>12/05/2025</u> Hearing Date: <u>1/8/2026</u>
Project Name/Address:	<u>PZ-31-25: CU: Preliminary &amp; Final PUD (Fatpour Tap Works Restaurant)</u>		

I. Subject Property	
Address(es):	<u>200 S Main St</u>
Zoning District(s):	<u>B5</u> Property Area (SqFt and/or Acreage): _____
Parcel Index (PIN(s)):	<u>08-12-119-029-0000</u>

II. Zoning Request(s) (Check all that apply)	
<input checked="" type="checkbox"/> Conditional Use: For	<u>Planned Unit Development</u>
<input type="checkbox"/> Variation(s): To	_____
<input type="checkbox"/> Zoning Map Amendment: Rezone From	_____ To _____
<input type="checkbox"/> Zoning Text Amendment: Section(s)	_____
<input type="checkbox"/> Other:	_____

III. Summary of Proposal (use separate sheet if necessary)
The project consists of the construction of a new 7,200 square foot building for Fatpour Tap Works, a full service restaurant, with outdoor dining patio. Limited on-site parking is included. Existing abandoned concrete building pad and underground tank(s) will be removed prior to start of construction.

IV. Applicant (all correspondence will be sent to the applicant)	
Name:	<u>Neal Thompson</u> Corporation: <u>Aria Group Architects</u>
Address:	<u>200 S. Main Street LLC (Authorized representative: Arthur Holmer)</u>
City, State, ZIP Code:	<u>1307 N. Clybourn Ave, Suite A, Chicago, IL 60610</u>
Phone:	_____ Email: _____
Interest in Property:	_____

V. Property Owner	
<input type="checkbox"/> Check if Same as Applicant	
Name:	<u>Liabilty Company Mjm Holdings I, Corporation:</u> <u>Llc, A Delaware Limited</u>
Address:	<u>1701 Golf Road, Suite 203</u>
City, State, ZIP Code:	<u>Rolling Meadows, IL 60008</u>
Phone:	_____ Email: _____

In consideration of the information contained in this petition as well as all supporting documentation, it is requested that approval be given to this request. The applicant is the owner or authorized representative of the owner of the property. The petitioner and the owner of the property grant employees of the Village of Mount Prospect and their agent's permission to enter on the property during reasonable hours for visual inspection of the subject property.

I hereby affirm that all information provided herein and in all materials submitted in association with this application are true and accurate to the best of my knowledge.

**Applicant:**

Date:



(Print or Type Name)

Neal Thompson

If applicant is not property owner:

I hereby designate the applicant to act as my agent for the purpose of seeking the zoning request(s) described in this application and the associated supporting material.

**Property Owner:**

Date:

(Print or Type Name)

**Affidavit of Ownership**

---

COUNTY OF COOK            )  
STATE OF ILLINOIS        )

I, MATTHEW J. MORAN III, under oath, state that I am  
(print name)

- the sole owner of the property
- an owner of the property
- an authorized officer for the owner of the property

commonly described as 200 SOUTH MAIN ST.  
(property address and PIN) 08-12-119-029-0000

---

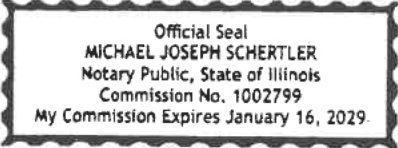
and that such property is owned by MJM HOLDINGS I, LLC. as of this date.  
(print name)

Matthew J Moran  
Signature

Subscribed and sworn to before

me this 22nd day of  
December, 2025.

MSJ  
Notary Public






Village of Mount Prospect  
 Community Development Department  
 50 S. Emerson Street  
 Mount Prospect, Illinois 60056  
 Phone: (847) 818-5328

<b>Property Owner</b>	
<input type="checkbox"/> Check if Same as Applicant	
Name: <u>MJM HOLDINGS I, LLC</u>	Corporation: _____
Address: <u>350 W. HUBBARD ST, STE 640</u>	
City, State, ZIP Code: <u>CHICAGO, IL 60654</u>	
Phone: <span style="background-color: black; color: black;">[REDACTED]</span>	Email: <span style="background-color: black; color: black;">[REDACTED]</span>

In consideration of the information contained in this petition as well as all supporting documentation, it is requested that approval be given to this request. The applicant is the owner or authorized representative of the owner of the property. The petitioner and the owner of the property grant employees of the Village of Mount Prospect and their agent's permission to enter on the property during reasonable hours for visual inspection of the subject property.

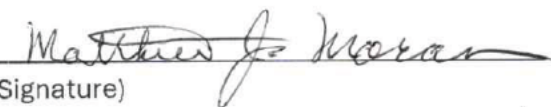
I hereby affirm that all information provided herein and in all materials submitted in association with this application are true and accurate to the best of my knowledge.

Applicant:  Date: 12/5/25  
 (Signature)

Arthur Holmer  
 (Print or Type Name)

If applicant is not property owner:

I hereby designate the applicant to act as my agent for the purpose of seeking the zoning request(s) described in this application and the associated supporting material.

Property Owner:  Date: Dec, 4, 2025  
 (Signature)

MATTHEW J. MORAN  
 (Print or Type Name)

**TRUSTEE'S DEED**

Reserved for Recorder's Office



Doc#: 0912829085 Fee: \$40.00  
Eugene "Gene" Moore RHSP Fee:\$10.00  
Cook County Recorder of Deeds  
Date: 05/08/2009 03:45 PM Pg: 1 of 3

This indenture made this **29TH** day of **APRIL, 2009**, between **CHICAGO TITLE LAND TRUST COMPANY**, a corporation of Illinois, as Successor Trustee under the provisions of a deed or deeds in trust, duly recorded and delivered to said company in pursuance of a trust agreement dated the **24TH** day of **JULY, 1986**, and known as Trust Number **86088**, party of the first part, and

**MJM HOLDINGS I, LLC, A DELAWARE LIMITED LIABILITY COMPANY**

whose address is :

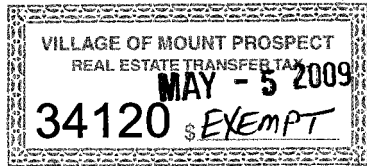
**200 SOUTH MAIN STREET  
MT. PROSPECT, IL**

party of the second part.

**WITNESSETH**, That said party of the first part, in consideration of the sum of **TEN and no/100 DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE** considerations in hand paid, does hereby **CONVEY AND QUITCLAIM** unto said party of the second part, the following described real estate, situated in **COOK** County, Illinois, to wit:

**LOT 1 IN STENGREN CORNER SUBDIVISION OF LOTS 1, 2, 3 AND 4 IN BUSSE'S RESUBDIVISION OF LOTS 1 TO 6 INCLUSIVE IN BLOCK 4, ALSO LOTS 2 AND 3 IN BLOCK 5, ALL OF BLOCK 6, AND LOTS 13 TO 24 INCLUSIVE IN BLOCK 7, LOTS 17 TO 20 INCLUSIVE IN BLOCK 8, ALL IN MEIER'S ADDITION TO MOUNT PROSPECT, BEING A SUBDIVISION IN THE NORTHWEST 1/4 OF SECTION 12, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES ON APRIL 16, 1979 AS DOCUMENT LR 3086126, IN COOK COUNTY, ILLINOIS.**

**THIS DEED IS SUBJECT TO: 1. GENERAL REAL ESTATE TAXES NOT YET DUE AND PAYABLE. 2. COVENANTS, CONDITIONS AND RESTRICTIONS OF RECORD. 3. BUILDING LINES AND EASEMENTS, IF ANY, SO LONG AS THEY DO NOT INTERFERE WITH THE CURRENT USE AND ENJOYMENT OF THE REAL ESTATE.**



Exempt under provisions of paragraph (5) 35 ILCS 107/31-45, the Real Estate Transfer Tax Law.

*[Signature]* 5809  
Buyer, (Seller or Representative) *as agent* Date  
*William Harold Allen & Dixon LLP*

Permanent Tax Number: 08-12-119-029  
*CLK/A 200 S. Main Street, Mt. Prospect IL*  
together with the tenements and appurtenances thereunto belonging.

TO HAVE AND TO HOLD the same unto said party of the second part, and to the proper use, benefit and behoof forever of said party of the second part.

This deed is executed pursuant to and in the exercise of the power and authority granted to and vested in said trustee by the terms of said deed or deeds in trust delivered to said trustee in pursuance of the trust agreement above mentioned. This deed is made subject to the lien of every trust deed or mortgage (if any there be) of record in said county given to secure the payment of money, and remaining unreleased at the date of the delivery hereof.

IN WITNESS WHEREOF, said party of the first part has caused its corporate seal to be hereto affixed, and has caused its name to be signed to these presents by its Assistant Vice President, the day and year first above written.



CHICAGO TITLE LAND TRUST COMPANY,  
as Successor Trustee as Aforesaid

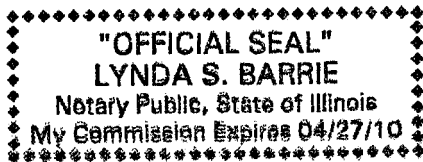
By: Sheila Duffert  
Assistant Vice President

State of Illinois  
County of Cook

SS.

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that the above named Assistant Vice President of **CHICAGO TITLE LAND TRUST COMPANY**, personally known to me to be the same person whose name is subscribed to the foregoing instrument as such Assistant Vice President appeared before me this day in person and acknowledged that he/she signed and delivered the said instrument as his/her own free and voluntary act and as the free and voluntary act of the Company; and the said Assistant Vice President then and there caused the corporate seal of said Company to be affixed to said instrument as his/her own free and voluntary act and as the free and voluntary act of the Company.

Given under my hand and Notarial Seal this 30<sup>TH</sup> day of APRIL, 2009.



Lyndia S. Barrie  
NOTARY PUBLIC

PROPERTY ADDRESS:  
200 SOUTH MAIN STREET  
MT. PROSPECT, IL

This instrument was prepared by:  
**CHICAGO TITLE LAND TRUST COMPANY**  
171 N. Clark Street  
Suite 575  
Chicago, IL 60601-3294

AFTER RECORDING, PLEASE MAIL TO:

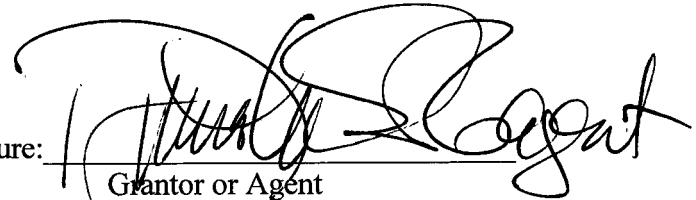
NAME Thomas P Duffy  
ADDRESS Wildman Harold  
225 W. Wacker Drive  
CITY, STATE Chicago IL 60606

SEND TAX BILLS TO: mjm Holdings LLC  
1701 Golf Road, Tower 3, Suite 203  
Rolling Meadows, IL 60008

STATEMENT BY GRANTOR AND GRANTEE

The grantor or his agent affirms that, to the best of his knowledge, the name of the grantee shown on the deed or assignment of beneficial interest in a land trust is either a natural person, an Illinois corporation or foreign corporation authorized to do business or acquire and hold title to real estate in Illinois, a partnership authorized to do business or acquire and hold title to real estate in Illinois, or other entity recognized as a person and authorized to do business or acquire title to real estate under the laws of the State of Illinois.

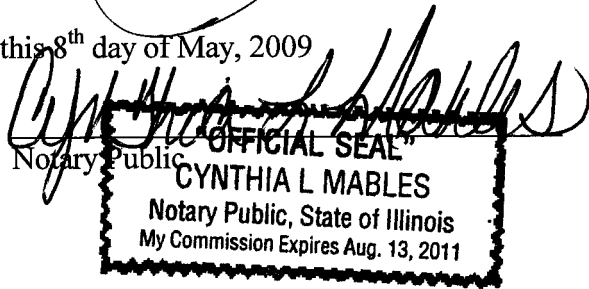
Dated: May 8, 2009

Signature:   
Grantor or Agent

SUBSCRIBED AND SWORN to before me this 8<sup>th</sup> day of May, 2009

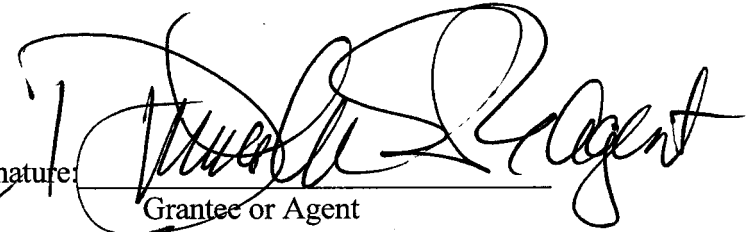
My Commission Expires:

*August 13, 2011*



The grantee or his agent affirms and verifies that the name of the grantee shown on the deed or assignment of beneficial interest in a land trust is either a natural person, an Illinois corporation or foreign corporation authorized to do business or acquire and hold title to real estate in Illinois, a partnership authorized to do business or acquire and hold title to real estate in Illinois, or other entity recognized as a person and authorized to do business or acquire and hold title to real estate under the laws of the State of Illinois.

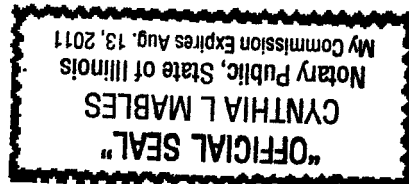
Dated: May 8, 2009.

Signature:   
Grantee or Agent

SUBSCRIBED AND SWORN to before me this 8<sup>th</sup> day of May, 2009.

My Commission Expires:

*August 13, 2011*



**TOTAL PAYMENT DUE****\$ 3,835.20**

By 12/15/25 (on time)

**2024 Second Installment Property Tax Bill**

Property Index Number (PIN)	Volume	Code	Tax Year	(Payable In)	Township	Classification
08-12-119-029-0000	049	16140	2024	2025	Elk Grove	1-00

<b>IF PAYING LATE, PLEASE PAY</b>	12/16/25 - 01/15/26	<b>OR</b>	01/16/26 - 02/15/26	<b>OR</b>	02/16/26 - 03/15/26	<b>LATE INTEREST IS 0.75% PER MONTH, BY STATE LAW</b>
	\$3,863.96		\$3,892.73		\$3,921.49	

**YOUR TAXING DISTRICTS****WHERE YOUR MONEY GOES****Total 2024 Tax Bill \$7,644.64****\$718.39 MORE than 2023**

Taxing District	2024 Tax	2023 Tax	Difference
SCHOOL DISTRICT 57	\$3,247.84	\$1,820.37	\$1,427.47 More
ARLINGTON HTS TOWNSHIP H S 214	\$1,943.17	\$1,268.04	\$675.13 More
VILLAGE OF MT PROSPECT	\$623.57	\$457.95	\$165.62 More
MT PROSPECT PARK DISTRICT	\$448.55	\$290.95	\$157.60 More
VILLAGE OF MT PROSPECT LIBRARY FUND	\$386.13	\$260.35	\$125.78 More
HARPER COMMUNITY COLLEGE DISTRICT 512	\$327.25	\$214.19	\$113.06 More
METRO WATER RECLAMATION DIST OF GR CHGO	\$256.98	\$178.93	\$78.05 More
COUNTY OF COOK	\$177.48	\$88.15	\$89.33 More
COUNTY OF COOK HEALTH & HOSPITAL COMM.	\$58.76	\$39.93	\$18.83 More
COUNTY OF COOK PUBLIC SAFETY	\$58.50	\$72.09	-\$13.59 Less
FOREST PRESERVE DISTRICT OF COOK COUNTY	\$51.77	\$38.90	\$12.87 More
TOWN ELK GROVE	\$40.63	\$26.45	\$14.18 More
TOWN ELK GROVE ROAD FUND	\$8.91	\$6.22	\$2.69 More
NORTHWEST MOSQUITO ABATEMENT DISTRICT	\$7.94	\$5.19	\$2.75 More
GENERAL ASSISTANCE ELK GROVE	\$7.16	\$5.19	\$1.97 More
TIF VIL OF MOUNT PROSPECT-PROSPECT & MAI	\$0.00	\$2,136.75	-\$2,136.75 Less
CONSOLIDATED ELECTIONS	\$0.00	\$16.60	-\$16.60 Less

<b>DO NOT PAY THESE TOTALS</b>	<b>\$7,644.64</b>	<b>\$6,926.25</b>	<b>\$718.39 MORE</b>
--------------------------------	-------------------	-------------------	----------------------

The above breakdown displays how much you pay in property taxes to each taxing district and the change from last year. Please see reverse side for a detailed breakdown by Taxing District.

**TAX CALCULATOR**

2023 Assessed Value	24,866	2024 Total Tax Before Exemptions	7,644.64
2024 Property Value	248,655	Homeowner's Exemption	.00
2024 Assessment Level X	10%	Senior Citizen Exemption	.00
2024 Assessed Value	24,866	Senior Freeze Exemption	.00
2024 State Equalizer X	3.0355		
2024 Equalized Assessed Value (EAV)	75,481	2024 Total Tax After Exemptions	7,644.64
2024 Local Tax Rate X	10.127919%	First Installment	3,809.44
2024 Total Tax Before Exemptions	7,644.64	Second Installment +	3,835.20
		<b>Total 2024 Tax (Payable in 2025)</b>	<b>7,644.64</b>

**IMPORTANT MESSAGES****PROPERTY LOCATION**

200 S MAIN ST  
MOUNT PROSPECT IL 60056

**MAILING ADDRESS**

MORAN ASSOC AGENT  
350 W HUBBARD ST 640  
CHICAGO IL 60654-6937

DETACH &amp; INCLUDE WITH PAYMENT

**TOTAL PAYMENT DUE****IMPORTANT PAYMENT MESSAGES**

Property Index Number (PIN)

TTLG

December 30, 2025

Ann Choi  
Community Development Department  
Village of Mount Prospect  
50 S. Emerson Street  
Mount Prospect, IL 60056

**Re: Fatpour Tap Works #PZ-31-25, Responses to planning standards**

Ann-

Please see below for our responses to the Village zoning code regulations related to Standards for Conditional Use and Standards for Planned Unit Developments.

Standards for Conditional Use

Section 14.203.F.8

Standards: No conditional use shall be recommended for approval by the planning and zoning commission unless it finds:

- a. That the establishment, maintenance, or operation of the conditional use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

*Response: The proposed project will be for use by a full service restaurant, which is a permitted use within the B-5 zoning district. There are several current examples of similar businesses in the downtown area within walking distance of the property. The building is designed with the main entrance and outdoor patio areas on Main Street and Evergreen Avenue, orienting the building to face the adjacent mixed use and commercial uses on those streets and drawing activity away from the single-family residential neighborhood to the south.*

- b. That the conditional use will not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood in which it is to be located.

*Response: The proposed project will contribute to the downtown area with the addition of a new restaurant option for residents, and will replace an empty, unused paved lot.*

- c. That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

*Response: No adverse impact on the surrounding properties are anticipated.*

- d. That adequate public utilities, access roads, drainage and/or necessary facilities

have been or will be provided.

*Response: Existing utility connections will be upgraded with new connections to public infrastructure as required to support the new restaurant use. A portion of the lot along the west property line will be dedicated for use as an alley to access new on-site parking, the existing parking lot to the west and properties located to the south.*

- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets;  
*Response: The proposed development would not allow for all required parking to be located on-site due to space constraints. The number of on-site spots have been maximized. Additional parking will be available through public parking resources, including future Village-owned public parking, Metra parking lots, the Wille Street parking lot, W. Prospect Avenue, and on-street parking along Evergreen Avenue.*
- f. That the proposed conditional use is not contrary to the objectives of the current comprehensive plan for the village.  
*Response: A restaurant use is permitted in the B-5 district per the zoning code.*
- g. That the conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the planning and zoning commission.  
*Response: Please advise if there are additional regulations to which the proposed project does not comply.*

## Standards for Planned Unit Developments

### 14.504.A

#### General Standards:

1. Except as modified by and approved in the final planned unit development plan, the proposed development complies with the regulations of the district or districts in which it is to be located.  
*Response: Please advise if there are additional regulations to which the proposed project does not comply.*
2. The principal use in the proposed planned unit development is consistent with the recommendations of the Comprehensive Plan of the Village for the area containing the subject site.  
*Response: A restaurant use is permitted in the B-5 district per the zoning code.*
3. The proposed planned unit development is in the public interest and is consistent with the purposes of this zoning ordinance.  
*Response: We believe that the new restaurant use would be in the public interest by making a significant improvement upon the existing empty paved lot and*

*adding a new entertainment option for residents in the Village and surrounding communities.*

4. The streets have been designed to avoid:
  - a. Inconvenient or unsafe access to the planned unit development.  
*Response: Off-street parking has been provided to the extent possible on site. Supplemental parking is available through public parking resources, including future Village-owned public parking, Metra parking lots, the Wille Street parking lot, W. Prospect Avenue, and on-street parking along Evergreen Avenue.*
  - b. Traffic congestion in the streets which adjoin the planned unit development;  
*Response: A traffic study has not been completed, but a restaurant use is permitted and is common in the B-5 zoning district and off-street parking has been provided to the maximum extent possible.*
  - c. An excessive burden on public parks, recreation areas, schools, and other public facilities which serve or are proposed to serve the planned unit development.  
*Response: No impact is anticipated.*

#### 14.504.C.

Standards For Planned Unit Developments With Other Exceptions: The Village Board may approve planned unit developments which do not comply with the requirements of the underlying zoning district's regulations governing lot area, lot width, bulk regulations, parking and sign regulations, or which require modification of the subdivision design standards when such approval is necessary to achieve the objectives of the proposed planned unit development, but only when the Board finds such exceptions are consistent with the following standards:

The proposed planned unit development requests the following exceptions from the underlying zoning regulations in order to achieve the project objectives:

- a. An exception from Section 14.319 to permit a patio to be located in the front and exterior side yards;
- b. An exception from Section 14.2207.1 to permit a reduction in the minimum parking requirement from eleven (11) parking spaces to eight (8) parking spaces;
- c. An exception from Section 14.1905.B to permit a reduced building setback of less than 22.72' along Main Street; and
- d. An exception from Section 14.1905.B to permit a reduced building setback of less than 30' along Evergreen Avenue.

1. Any reduction in the requirements of this chapter is in the public interest.  
*Response: These requested exceptions are in the public interest because the project cannot fully comply with the required front yard setback along Main*

*Street, which is defined as the average of setbacks of properties between Evergreen Avenue and Milburn Avenue. The building is located as far west on the site as feasible, but the eastern outdoor patio and patio trellis structure extend into the front yard setback. Given the limited size and configuration of the site, full compliance with the required setbacks along both Main Street and Evergreen Avenue is not feasible while accommodating the proposed restaurant use, making the requested setback relief necessary. However, the majority of the mass of the building is located behind the setback line, and all portions of the structure are further back from Main Street than the restaurant use immediately south of the new development.*

2. The proposed exceptions would not adversely impact the value or use of any other property.

*Response: We do not believe there to be an adverse impact on value or use of any adjacent property.*

3. Such exceptions are solely for the purpose of promoting better development which will be beneficial to the residents or occupants of the planned unit development as well as those of the surrounding properties.

*Response: We do not believe the occupants within the development would be negatively impacted by the patio within the front yard setback. The distance between patio and street is not unusually close compared to outdoor patios of other restaurants in the downtown area, and the occupants of this patio would be further from Main Street than the existing restaurant building to the south.*

4. In residential planned unit developments the maximum number of dwelling units allowed per acre shall not exceed forty eight (48) units per acre for developments incorporating senior housing or assisted living facilities.

*Response: Not applicable to this development.*

5. All buildings are to be located within the planned unit development in such a way as to dissipate any adverse impact on adjoining buildings and shall not invade the privacy of the occupants of such buildings and shall conform to the following:

- a. The front, side or rear yard setbacks on the perimeter of the development shall not be less than that required in the abutting zoning district(s) or the zoning district underlying the subject site, whichever is greater.

*Response: Only the front yard and side yard setback discussed above do not comply.*

- b. All transitional yards and transitional landscape yards of the underlying zoning district are complied with.

*Response: Transitional setback to the property to the west has been met.*

- c. If required transitional yards and transitional landscape yards are not adequate to protect the privacy and enjoyment of property adjacent to the development, the Planning and Zoning Commission shall recommend either or both of the following requirements:

- (1) All structures located on the perimeter of the planned unit development must be set back by a distance sufficient to protect the privacy and amenity of adjacent existing uses.

*Response: Minimum setbacks to adjacent lots to the west and to the south have been met.*

- (2) All structures located along the entire perimeter of the planned unit development must be permanently screened with sightproof screening in a manner which is sufficient to protect the privacy and amenity of adjacent existing uses.

*Response: All mechanical equipment will be located on the rooftop and will be adequately screened from view from street by parapet walls, trash dumpsters and exterior walk-in coolers will be screened by wood fencing.*

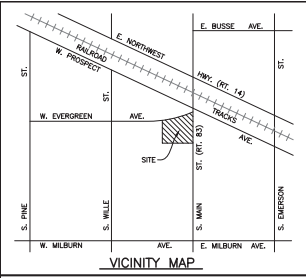
- d. The area of open space provided in a planned unit development shall be at least that required in the underlying zoning district.

*Response: All lot area not required for operation by the restaurant, outdoor patio and required parking will be left as open, landscaped area.*

Please do not hesitate to reach out with any questions on the above items.

Thank you,

Neal Thompson  
Senior Associate  
Aria Group Architects, Inc.

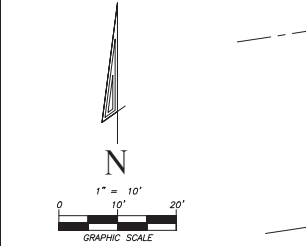


# EDWARD J. MOLLOY & ASSOCIATES

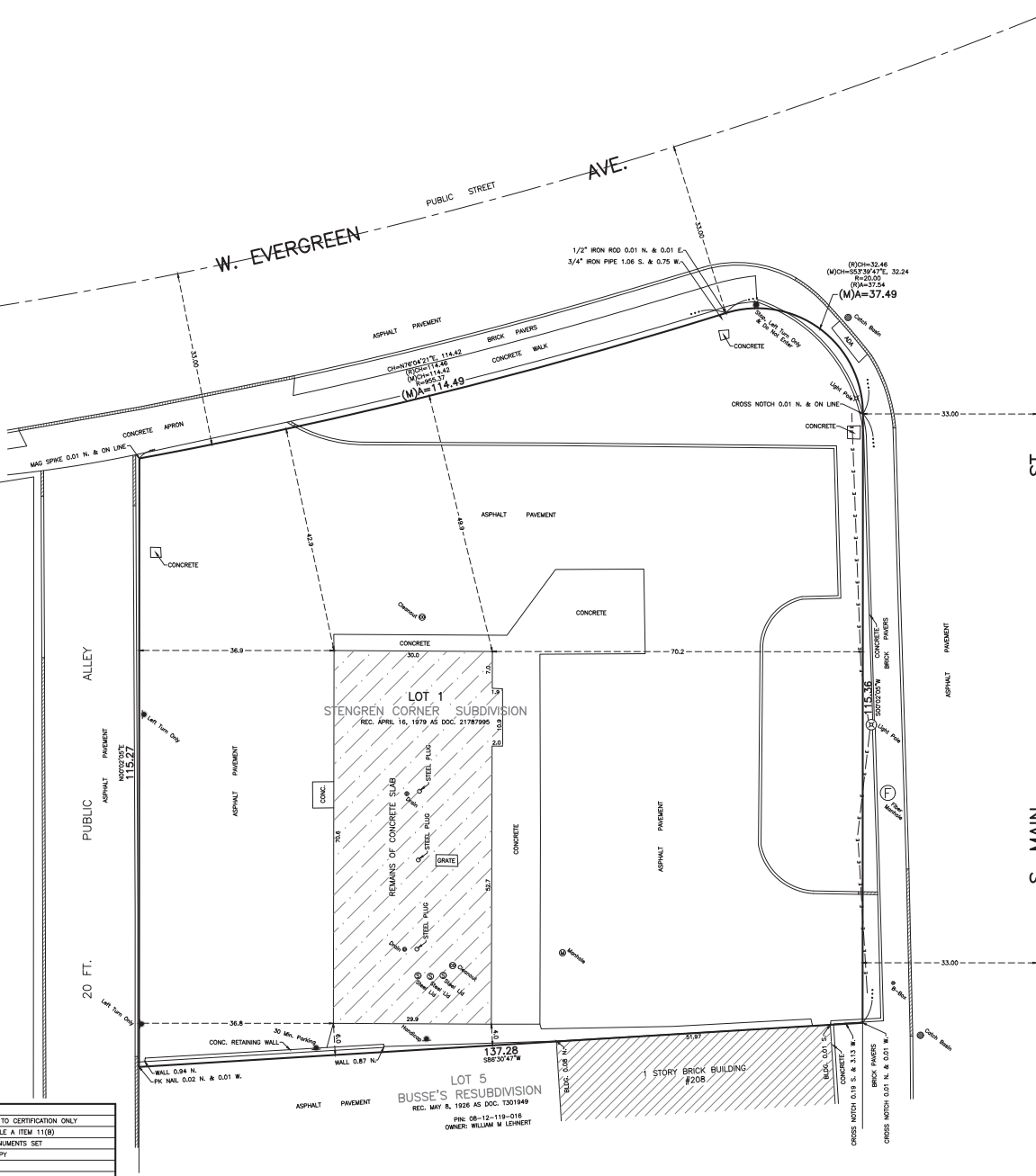
A DIVISION OF THOMAS A. MOLLOY, LTD. - PROFESSIONAL LAND SURVEYING  
 1236 MARK STREET, BENSENVILLE, ILLINOIS 60106 (630) 595-2600 Fax (630) 595-4700  
 e-mail: tmolloy@jmolloy.com

## ALTA/NSPS LAND TITLE SURVEY

LOT 1 IN STENGREN CORNER SUBDIVISION OF LOTS ONE (1), TWO (2), THREE (3) AND FOUR (4) IN BUSSE'S RESUBDIVISION OF LOTS ONE (1), TO SIX (6) INCLUSIVE, IN BLOCK 4, ALSO LOTS TWO (2) AND THREE (3) IN BLOCK 5, ALL OF BLOCK 6, LOTS THIRTEEN (13) TO TWENTY FOUR (24) INCLUSIVE, IN BLOCK 7, LOTS SEVENTEEN (17) TO TWENTY (20) IN BLOCK 8, ALL IN MEYER'S ADDITION TO MOUNT PROSPECT, A SUBDIVISION IN THE NORTH-WEST QUARTER (1/4) OF SECTION 12, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS, ON APRIL 16, 1979, AS DOCUMENT NUMBER 309R06, IN COOK COUNTY, ILLINOIS, ON APRIL 16, 1979, AS COMMONLY KNOWN AS: 200 S. MAIN STREET, MOUNT PROSPECT, ILLINOIS



- LEGEND:**
- Storm Catch Basin/Inlet
  - Manhole
  - B-Box
  - ⊕ Light Pole
  - ⊕ Traffic Sign
  - ⊕ Fiber Optic Manhole
  - ⊕ Drain
  - ⊕ Cleanout
  - ⊕ Steel Lid
  - Underground Electric Lines per plat markings observed in the process of conducting the fieldwork
  - Depressed Curb
  - (M) Measured
  - (R) Record
  - A Arc
  - R Radius
  - CH Chord
  - ADA ADA Tactile Dome



- TITLE COMMENT:** THIS SURVEY REFLECTS CERTAIN MATTERS OF TITLE AS REFERENCED IN SCHEDULE B OF CHICAGO TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE COMMITMENT NUMBER 240014353K WITH A COMMITMENT DATE OF FEBRUARY 20, 2024.
- SURVEYOR'S NOTES**
- === NO SURVEY RELATED MATTERS ===
- TAX PARCEL PERMANENT INDEX NUMBER:** 08-12-119-029-0000
- ACCESS STATEMENT:** THE PROPERTY HAS DIRECT PHYSICAL VEHICULAR ACCESS TO AND FROM W. EVERGREEN AVENUE AND S. MAIN STREET, BOTH LEGALLY OPENED AND PUBLICLY DEDICATED, USED AND MAINTAINED STREETS OR HIGHWAYS.
- BASIS OF BEARINGS:** THE BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED DATUM AND DO NOT REFLECT ANY RECORD DEVIATIONS.
- TABLE A - ITEM 1 STATEMENT AS TO MONUMENTS PLACED:** SEE DRAWING FOR MONUMENTS PLACED AT MAJOR CORNERS OF THE SURVEYED PROPERTY OR FOUND WHILE COMPLETING THE FIELD SURVEY.
- TABLE A - ITEM 2 STATEMENT AS TO ADDRESS:** THE PROPERTY LEGALLY DESCRIBED HEREON IS VACANT, NO POSTED ADDRESS FOUND IN THE PROCESS OF CONDUCTING THE FIELD SURVEY. THE COMMONLY KNOWN ADDRESS IS SOUTH MAIN STREET, MOUNT PROSPECT, ILLINOIS.
- TABLE A - ITEM 3 STATEMENT AS TO FLOOD ZONE CLASSIFICATION:** BASED ON OUR REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP COMMITMENT-PANEL NO.'S 1703020208I AND 1703102016I BOTH WITH MAP REVISED DATES OF AUGUST 19, 2008, THE PROPERTY LEGALLY DESCRIBED HEREON FALLS WITHIN ZONE "X" DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- TABLE A - ITEM 4 STATEMENT AS TO GROSS LAND AREA:** THE PROPERTY LEGALLY DESCRIBED HEREON CONTAINS 17,272 SQUARE FEET OR 0.397 ACRES, MORE OR LESS.
- TABLE A - ITEM 6(A) & 6(B) STATEMENT REGARDING ZONING CLASSIFICATION AND RESTRICTIONS:** SURVEYOR HAS NOT BEEN PROVIDED WITH ZONING CLASSIFICATION OR RESTRICTIONS BY THE INSURER. BASED ON OUR REVIEW OF THE OFFICIAL VILLAGE OF MOUNT PROSPECT ZONING MAP EFFECTIVE MARCH 31, 2023, SURVEYOR FINDS THE PROPERTY TO BE ZONED "B5".
- TABLE A - ITEM 7(a) STATEMENT AS TO EXTERIOR DIMENSIONS OF BUILDINGS AT GROUND LEVEL:** THERE ARE NO BUILDINGS LOCATED ON THE PROPERTY SURVEYED.
- TABLE A - ITEM 7(b)(1) STATEMENT REGARDING SQUARE FOOTAGE OF BUILDING FOOTPRINT:** THERE ARE NO BUILDINGS LOCATED ON THE PROPERTY SURVEYED.
- TABLE A - ITEM 7(c) STATEMENT AS TO MEASURED HEIGHT OF ALL BUILDINGS ABOVE GRADE:** THERE ARE NO BUILDINGS LOCATED ON THE PROPERTY SURVEYED.
- TABLE A - ITEM 8 STATEMENT AS TO SUBSTANTIAL FEATURES OBSERVED:** SURVEYOR HAS SHOWN LOCATION OF SUBSTANTIAL FEATURES OBSERVED ON THE SURVEYED PROPERTY IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- TABLE A - ITEM 9 STATEMENT AS TO PAINT STRIPED PARKING SPACES:** THE LAND SURVEYED HEREON CONTAINS A TOTAL OF 0 EXISTING IDENTIFIABLE PAINT STRIPED PARKING SPACES INCLUDING 0 REGULAR SPACES AND 0 DESIGNATED HANDICAP SPACES.
- TABLE A - ITEM 11(A) STATEMENT REGARDING EXISTING UTILITIES (PLANS AND/OR REPORTS PROVIDED BY CLIENT):** SURVEYOR HAS NOT BEEN PROVIDED WITH PLANS AND/OR REPORTS FROM THE CLIENT. SURVEYOR HAS SHOWN LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE ON OR ABOVE THE SURFACE ONLY. COLLECTED PURSUANT TO SECTION 6.1-6.
- TABLE A - ITEM 11(B) STATEMENT REGARDING EXISTING UTILITIES (MARKINGS COORDINATED BY THE SURVEYOR):** SURVEYOR ORDERED A UTILITY LOCATE ON FEBRUARY 16, 2024 WHICH WAS ASSIGNED JOB NO. A2407149. THE APPROXIMATE LOCATION OF UNDERGROUND UTILITIES FOR PAINT MARKINGS HAS BEEN PLOTTED ON THE DRAWING, NOTE AS STATED IN THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS EFFECTIVE FEBRUARY 23, 2021: UTILITY REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE IF MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
- TABLE A - ITEM 13 STATEMENT REGARDING ADJOINING OWNERS:** SEE DRAWING FOR NAMES OF ADJOINING OWNERS AS OBTAINED FROM THE COOK COUNTY TREASURER'S WEBSITE.
- TABLE A - ITEM 14 STATEMENT REGARDING DISTANCE TO NEAREST INTERSECTING STREET:** SEE DRAWING FOR THE DISTANCE TO THE NEAREST INTERSECTING STREET.
- TABLE A - ITEM 16 STATEMENT REGARDING EARTH MOVING AND BUILDING CONSTRUCTION:** SURVEYOR FINDS NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS ON OR WITHIN THE PROPERTY LEGALLY DESCRIBED HEREON IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- TABLE A - ITEM 17 STATEMENT REGARDING CHANGES IN STREET RIGHT-OF-WAY LINES:** SURVEYOR HAS NO KNOWLEDGE OF ANY CHANGES IN STREET RIGHT-OF-WAY LINES CONTAINED OR PROPOSED. SURVEYOR OBSERVED EVIDENCE OF RECENT SIDEWALK CONSTRUCTION OR REPAIRS AT THE NORTHEAST CORNER OF THE PROPERTY IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- TABLE "A" ITEM 18 STATEMENT OF OFFSITE EASEMENTS:** SURVEYOR FINDS NO OFFSITE EASEMENTS OR SERVITUDES BENEFITING THE SURVEYED PROPERTY THAT ARE DISCLOSED IN THE RECORD DOCUMENTS.
- TABLE A - ITEM 19 STATEMENT REGARDING PROFESSIONAL LIABILITY INSURANCE:** PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$1,000,000 TO BE IN EFFECT THROUGHOUT THE CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.

DRAFTED BY: BJE		
PAGE: 1 OF 1		
ORDER NO.: 240017		
FILE: 12-4-12		
PROJECT NO.: 2825		
CLIENT: MAM HOLDINGS I LLC	APR. 15, 2024	240017
	APR. 10, 2024	240017
	MAR. 27, 2024	240017
	MAR. 18, 2024	240017
REVISION DATE	ORDER NO.	REVISION

**LOT 5 BUSSE'S RESUBDIVISION**  
 REC. MAY 8, 1928 AS DOC. 1301949  
 PH: 08-12-119-016  
 OWNER: WILLIAM W. LEHNER

STATE OF ILLINOIS }  
 COUNTY OF DUPAGE } SS  
 I, THOMAS A. MOLLOY, AN ILLINOIS PROFESSIONAL LAND SURVEYOR HEREBY CERTIFY TO:  
 200 S MAIN STREET, LLC;  
 MAM HOLDINGS I, LLC, A DELAWARE LIMITED LIABILITY COMPANY;  
 CHICAGO TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDE ITEMS 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a) (BY OBSERVED EVIDENCE ON OR ABOVE THE SURFACE ONLY), COLLECTED PURSUANT TO SECTION 6.1-6, 11(b), 13, 14, 16, 17, 18 AND 19 OF "A" THEREOF. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

THE FIELD WORK WAS COMPLETED ON FEBRUARY 19, 2024.  
 SIGNED AT BENSENVILLE, ILLINOIS THIS 18TH DAY OF MARCH, A.D. 2024  
 EDWARD J. MOLLOY AND ASSOCIATES, A DIVISION OF THOMAS A. MOLLOY, LTD., AN ILLINOIS PROFESSIONAL DESIGN FIRM - LICENSE NO. 164-004640

*Edward J. Molloy*

THOMAS A. MOLLOY, LTD. AN ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 354-0309  
 EXPIRES DECEMBER 30, 2024 AND IS RENEWABLE  
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

VALID ONLY WITH EMBOSSED SEAL

## **EXHIBIT A**

### Legal Description of Property

LOT 1 IN STENGREN CORNER SUBDIVISION OF LOTS 1, 2, 3, AND 4 IN BUSSE'S RESUBDIVISION OF LOTS 1 TO 6 INCLUSIVE IN BLOCK 4, ALSO LOTS 2 AND 3 IN BLOCK 5, ALL OF BLOCK 6, AND LOTS 13 TO 24 INCLUSIVE IN BLOCK 7, LOTS 17 TO 20 INCLUSIVE IN BLOCK 8, ALL IN MEIER'S ADDITION TO MOUNT PROSPECT, BEING A SUBDIVISION IN THE NORTHWEST  $\frac{1}{4}$  OF SECTION 12, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES ON APRIL 16, 1979 AS DOCUMENT LR 3086126, IN COOK COUNTY, ILLINOIS.

EXHIBIT A

**Error! Unknown document property name.**

# NEW FREE STANDING ONE-STORY DINE-IN SERVICE RESTAURANT WITH EXTERIOR PATIO



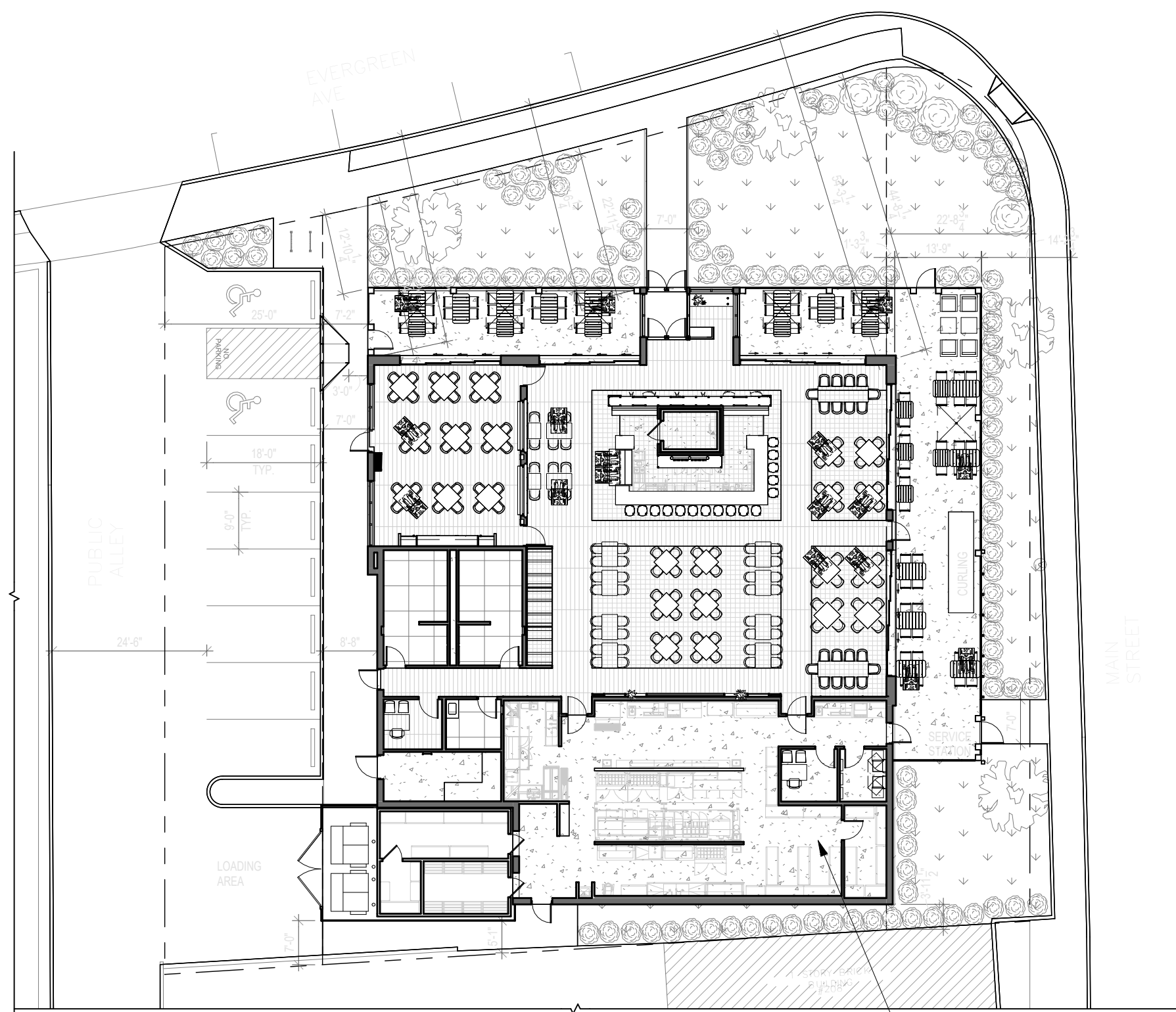
200 S. MAIN STREET, MOUNT PROSPECT, IL  
60056

## ZONING REVIEW PACKAGE: 12/04/2025

### AREA/LOCATION MAP



### KEY PLAN



### SCOPE OF WORK

NEW FREE STANDING  
ONE-STORY DINE-IN  
SERVICE RESTAURANT  
WITH EXTERIOR PATIO

### PROJECT TEAM

#### CLIENT

BIG ONION HOSPITALITY  
1307 N. CLYBOURN AVE.,  
SUITE A  
CHICAGO, IL 60610  
312-874-7400 (TEL.)  
CONTACT: ARTHUR HOLMER

#### ARCHITECT

ARIA GROUP ARCHITECTS, INC.  
830 NORTH BOULEVARD  
OAK PARK, ILLINOIS 60301  
708-445-8400 (TEL.)  
708-445-1788 (FAX)  
CONTACT: DAMIAN SATOLA  
GUILLERMO G. GOMEZ

#### STRUCTURAL ENGINEER

COMPANY NAME  
COMPANY ADDRESS  
CITY, STATE, ZIP  
XXX-XXX-XXXX (TEL.)  
CONTACT:

#### KITCHEN

EDWARD DON & COMPANY  
9601 ADAM DON PARKWAY  
WOODRIDGE, IL 60517  
708-883-8921 (TEL.)  
CONTACT: CURTIS SCHATZ  
MANIA ABUPARNA

#### M.P.E ENGINEERS

COMPANY NAME  
COMPANY ADDRESS  
CITY, STATE, ZIP  
XXX-XXX-XXXX (TEL.)  
CONTACT:

#### CIVIL ENGINEERS

COMPANY NAME  
COMPANY ADDRESS  
CITY, STATE, ZIP  
XXX-XXX-XXXX (TEL.)  
CONTACT:

#### GENERAL CONTRACTOR

ARCOMURRY CONSTRUCTION COMPANY, INC.  
3115 WOODCREEK DRIVE  
DOWNERS GROVE, IL 60515  
331-251-2726 (TEL.)  
331-251-2727 (FAX)  
CONTACT: BEN BENTLEY  
COLLIN SCHMID

### INDEX OF DRAWINGS

INDEX OF DRAWINGS		ZONING REVIEW
GENERAL		
T1.1	TITLE SHEET	•
SP1.1	SITE PLAN	•
ARCHITECTURAL		
A1.1	FLOOR PLAN	•
A2.1	REFLECTED CEILING PLAN	•
A3.1	ROOF PLAN	•
A4.1	EXTERIOR ELEVATIONS	•
A4.2	EXTERIOR ELEVATIONS	•
A8.1	ENLARGED TOILET PLANS	•
A9.2	FINISH SCHEDULE	•
A10.1	INTERIOR ELEVATIONS	•
A10.2	INTERIOR ELEVATIONS	•
A12.1	FINISH FLOOR PLAN	•
A12.3	SEATING PLAN & FURNITURE LEGEND	•

LEGEND	
●	FIRST ISSUE OR REVISION
○	NO REVISION
×	SHEET HAS BEEN OMITTED

**FIELD VERIFICATION**  
Contractor shall verify all field dimensions and conditions at the job site and notify Aria Group Architects, Inc. of any dimensional errors, omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

**COPYRIGHT**  
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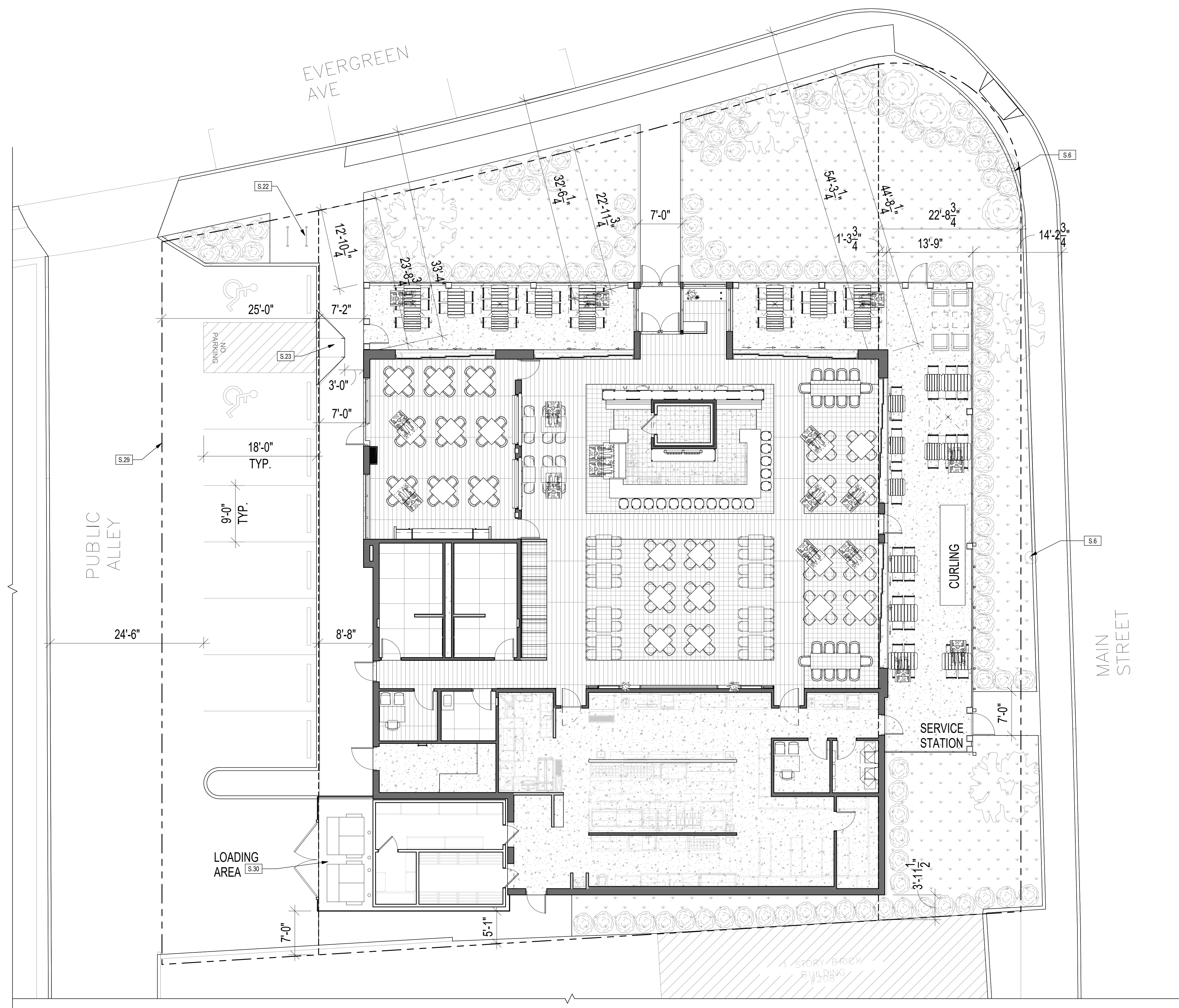
NO.	DATE	DESCRIPTION
REVISIONS		

Drawing Title	TITLE SHEET
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Job No.	255934	Drawn	NCK
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Scale	1" = 20'-0"	Date	09/24/2025
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Sheet No.	T1.1
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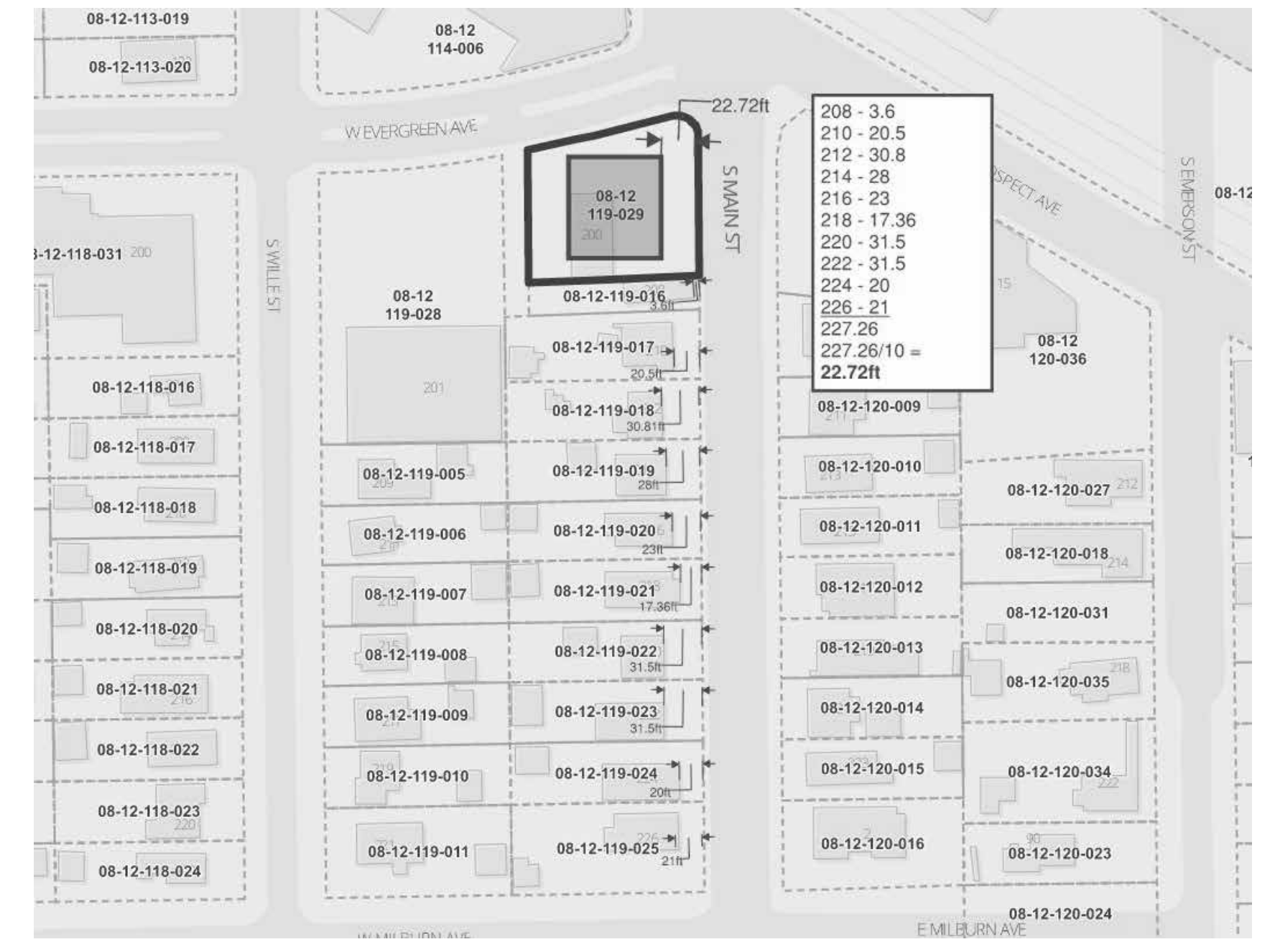
**1 SITE PLAN**  
1/8" = 1'-0"

**GENERAL NOTES**

- SITE PLAN FOR REFERENCE ONLY.
- REFER TO CIVIL SHEETS AND OTHER DISCIPLINE DRAWINGS FOR ADDITIONAL INFORMATION ON SITE CONDITIONS, UTILITIES, PARKING LOT SIGNAGE AND POINTS OF CONNECTION.
- PROPERTY LINE DIMENSIONS SHOWN ARE FOR REFERENCE ONLY. REFER TO CIVIL SHEETS FOR ALL PROPERTY EXTENTS, RIGHTS OF WAY AND EASEMENTS.
- THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:40 PER ANSI A117.1 ADA STANDARD.

**LEGEND**

- PROPERTY LINE
- - - CONSTRUCTION LIMIT LINE
- [Pattern] CONCRETE SIDEWALK
- [Symbol] BORING LOCATIONS PER GEOTECHNOLOGICAL REPORT



**2 AVERAGE SETBACK**  
12" = 1'-0"

**KEYNOTES**

S.6	EXISTING POLE LIGHT
S.22	BICYCLE RACK, BY OWNER
S.23	ACCESSIBLE RAMP, REFER TO CIVIL DRAWINGS.
S.29	PROPERTY LINE
S.30	TRASH ENCLOSURE, REFER TO DETAILS

**FIELD VERIFICATION**  
Contractor shall verify all field dimensions and conditions at the job site and notify Aria Group Architects, Inc. of any discrepancies, errors, omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

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NO.	DATE	DESCRIPTION
REVISIONS		

Drawing Title	
SITE PLAN	

Job No.	Drawn
255934	NCK

Scale	Date
As indicated	09/24/2025

Sheet No.  
**SP1.1**

**GENERAL NOTES**

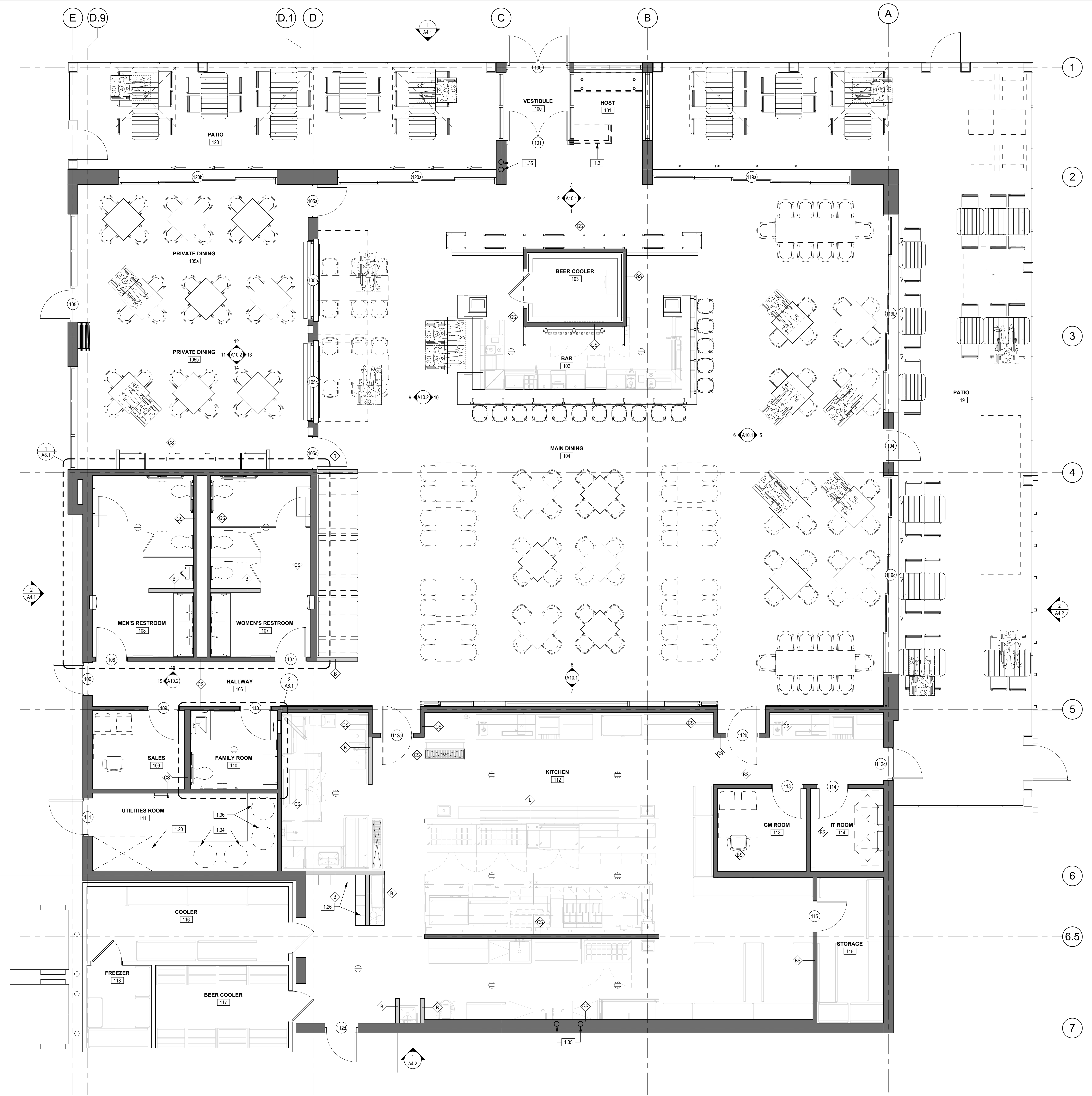
- REFER TO KITCHEN SHEETS FOR EQUIPMENT LAYOUT, SPECIFICATIONS AND CRITICAL DIMENSIONS & IN WALL BACKING.
- ALL TOILET ROOMS & KITCHEN WALLS TO HAVE MOISTURE RESISTANT DRYWALL AND 1/2" HIGH CEMENTITIOUS BOARD BASE (REFER TO DETAILS). AT HOODS, INSTALL 5/8" CEMENTITIOUS BOARD FULL HEIGHT SMOOTH SIDE OUT AT WALLS TO RECEIVE FINISH. REFER TO DETAILS AND KITCHEN SHEETS FOR LOCATIONS OF STAINLESS STEEL TO RECEIVE CEMENTITIOUS BOARD BACKING.
- PROVIDE IN-WALL FIRE-TREATED BLOCKING/ BACKING/ FRAMING FOR MILLWORK, SHELVEING, GLASS PANELS, ETC., REFER TO KITCHEN SHEETS AND ARCHITECTURAL SHEETS.
- ALL WOOD FRAMING, BLOCKING, BACKING & SUBSTRATES TO BE FIRE TREATED.
- K.E.C. TO PROVIDE STAINLESS STEEL CLOSURE STRIPS, FLOOR TO CEILING, TYP. BETWEEN COOLER BOX AND WALL AT CEILING CONDITIONS.
- ALL FINISH, A.F.F. DIMENSIONS ARE IN RELATION TO FINISH FLOOR UNLESS NOTED OTHERWISE.
- ALL INTERIOR DIMENSIONS ARE FACE OF GYP. WALL OR CEMENT BACKER BOARD UNLESS NOTED OTHERWISE.
- DIMENSIONS SHOWN ARE NOMINAL. REFER TO DETAILS FOR ACTUAL DIMENSIONS.
- THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER CONSULTANT DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS OR SKETCHES AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT AND THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- G.C. TO CONTACT & COORDINATE W/ LOCAL PEST TREATMENT COMPANY FOR ALL PRE-TREATMENT ON WALLS PRIOR TO CLOSE IN OF WALLS.
- PROVIDE 16 G.A. SHEET METAL BACKING UNDER & 3/8" TO EITHER SIDE OF HOODS (PLYWOOD NOT ALLOWED), COORDINATE LOCATIONS WITH KITCHEN SHEETS.
- G.C. TO ENSURE LEVEL SLAB FOR WALK-INS BEFORE INSTALLATION OF COOLER WALLS. LEVEL SLAB AS NECESSARY.
- REFER TO SOUND SYSTEM DRAWINGS FOR SPEAKER, BLOCKING LOCATIONS, AND DETAILS.

**WALL LEGEND**

	INSULATED WALL
	NON-INSULATED WALL
	LOW HEIGHT PARTITION
	LOW HEIGHT PARTITION WITH SCREEN
	CMU WALL (CONCRETE MASONRY UNIT)
	LOCATION OF WALL BRACING REFER TO S-SHEETS

**KEYNOTES**

- |      |  |
|------|--|
| 1.3  | HOST STAND, REFER TO E-SHEETS FOR POWER INFORMATION                        |
| 1.20 | FIRE RISER, REFER TO MEP-SHEETS  |
| 1.26 | EMPLOYEE LOCKERS   |
| 1.34 | TANKLESS WATER HEATER EQUIPMENT, REFER TO P-SHEETS FOR FURTHER INFORMATION |
| 1.35 | IN-WALL DOWNSPOUT AND OVERFLOW, REFER TO P-SHEETS                          |
| 1.36 | RTI TANK, REFER TO K-SHEETS  |



**1 FLOOR PLAN**  
1/4" = 1'-0"

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NO.	DATE	DESCRIPTION
REVISIONS		

Drawing Title  
**FLOOR PLAN**

Job No. 259934	Drawn NCK
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Scale As indicated	Date 09/24/2025
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Sheet No.  
**A1.1**

**GENERAL NOTES**

- ALIGN ALL FIXTURES IN BOTH DIRECTIONS, UNLESS NOTED OTHERWISE.
- SUBMIT ALL FIXTURE CUTS TO ARCHITECT FOR APPROVAL.
- ALL ACCESS PANELS IN GYP. BD. CEILING TO BE COORDINATED W/ ARCHITECT. PROPOSED LOCATIONS TO BE LOCATED ON DRAWINGS & EMAILED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING. ALLOW TWO (2) BUSINESS DAYS (48 HOURS) FOR RESPONSE. G.C. TO PROVIDE (6) ACCESS PANELS AS PART OF SCOPE OF WORK. ACCESS PANELS IN PUBLIC GYP. BD. TO BE GRFG TYPE.
- E.C. TO VERIFY ALL LOCATIONS OF WALL MOUNTED J-BOXES FOR SCONCES AND CLOCK OUTLETS W/ ARCHITECT & OWNER PRIOR TO INSTALLATION.
- SEE FIRE PROTECTION SHEETS FOR SPRINKLER FIRE PROTECTION SYSTEM REQUIREMENTS.
  - GYP. BD. CEILINGS AT PUBLIC AREAS - RECESSED HEADS WITH FLUSH COVER PLATES CUSTOM FINISHED IN THE MANUFACTURERS SHOP TO MEET CODE REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
  - KITCHEN LAY-IN CEILINGS - SEMI-RECESSED HEADS WITH CHROME ESCUTCHEONS
  - OPEN CEILINGS - BRASS UPRIGHTS
- CENTER ALL SPRINKLER HEADS IN TILES AT FRONT OF HOUSE. INFORM ARCHITECT IMMEDIATELY OF ANY CONFLICTS W/ LIGHTING, MECH. ETC. UNLESS NOTED OTHERWISE.
- E.C. TO DIRECT LIGHTS (TRACK, MONO & RECESSED) TO ILLUMINATE CENTER OF ALL TABLES AS NECESSARY. AFTER TABLES ARE ASSEMBLED & LOCATED.
- CEILING HEIGHTS GIVEN ARE FROM HEIGHT OF FINISH FLOOR BELOW. COORDINATE WITH INTERIOR ELEVATIONS.
- G.C. TO INSTALL ALL OWNER SUPPLIED LIGHT FIXTURES.
- G.C. TO COORDINATE OWNER SUPPLIED AUDIOVISUAL INSTALLATION AND WIRING.
- G.C. TO PAINT ALL GYP. BD. CEILINGS AND SOFFITS AS NOTED.
- ALL DIFFUSERS IN LAY-IN CEILING AREA OF KITCHEN TO BE STANDARD WHITE ALUMINUM. ALL OTHER DIFFUSERS & GRILLS IN GYP. SOFFITS TO BE PRIMED & PAINTED TO MATCH ADJACENT CEILING FINISH.

**RCP LEGEND**

	RETURN AIR GRILL. REFER TO M-SHEETS FOR MORE INFORMATION. PAINT TO MATCH ADJACENT SURFACE IN FRONT OF HOUSE. FACTORY WHITE IN BACK OF HOUSE.
	SUPPLY AIR GRILL. REFER TO M-SHEETS FOR MORE INFORMATION. PAINT TO MATCH ADJACENT SURFACE IN FRONT OF HOUSE. FACTORY WHITE IN BACK OF HOUSE.
	EXHAUST FAN. REFER TO M-SHEETS FOR MORE INFORMATION. PAINT TO MATCH ADJACENT SURFACE IN FRONT OF HOUSE. FACTORY WHITE IN BACK OF HOUSE.
	DENOTES SUBSTRATE: GYP GYPSUM BOARD MR MOISTURE RESISTANT GYPSUM BOARD PMD FIRE TREATED PLYWOOD EG EXTERIOR GRADE GYPSUM BOARD OTA OPEN TO ABOVE
	CEILING HEIGHT ABOVE FINISH FLOOR
	CEILING FINISH. REFER TO FINISH SCHEDULE
	CEILING GRID START POINT

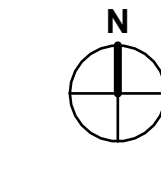
**KEYNOTES**

- EXTERIOR/INTERIOR SIGNAGE BY SIGNAGE CONTRACTOR. SHOWN DASHED. REFER TO EXTERIOR ELEVATIONS. G.C. TO COORDINATE AND PROVIDE BLOCKING AND PRIMARY POWER AS REQUIRED. REFER TO E-SHEETS FOR POWER. REFER TO SIGNAGE SHOP DRAWINGS FOR EXACT SIZE AND LOCATION.
- WALK-IN COOLER & FREEZER CEILING & LIGHTING BY KEC. REFER TO K-SHEETS
- TV. G.C. TO PROVIDE POWER AND F.R.T. BLOCKING AS REQUIRED. REFER TO E-SHEETS
- STARTING POINT OF A FULL SUSPENDED CEILING TYPE
- ROOF ACCESS HATCH LOCATION
- OVERHEAD DOOR TRACK SHOWN DASHED ABOVE. G.C. TO COORDINATE TRACK OVERLAPPING HEIGHT
- OUTDOOR FANS. G.C. TO PROVIDE POWER
- AIR CURTAIN. REFER TO M-SHEETS
- SKYLIGHT ABOVE
- LET'S MAKE POOR DECISIONS - SIGNAGE BY SIGNAGE CONTRACTOR. SHOWN DASHED. REFER TO INTERIOR ELEVATIONS. G.C. TO COORDINATE AND PROVIDE BLOCKING AND PRIMARY POWER AS REQUIRED. REFER TO E-SHEETS FOR POWER. REFER TO SIGNAGE SHOP DRAWINGS FOR EXACT SIZE AND LOCATION.
- SECURITY CAMERAS BY FURNISHED AND INSTALLED BY OWNERS VENDOR. G.C. TO REFER TO LOW VOLTAGE PLAN.

**LIGHT FIXTURE SCHEDULE**

FIXTURE	DESCRIPTION	MANUFACTURER	MODEL	LAMP	LOCATION	WATTS	VOLTAGE	NOTES
C1	RECESSED DOWNLIGHT	CED DESIGN SOLUTIONS		INTEGRAL LED, 2700K, 1430LM, 45°, 90CRI	REFER TO RCP	16W	UNV	
C2	DECORATIVE PENDANT	CED DESIGN SOLUTIONS		INTEGRAL LED, 3000K, 814LM, 90CRI	REFER TO RCP	13W	UNV	
EM1	LED EMERGENCY LIGHTING	CED DESIGN SOLUTIONS			REFER TO RCP			WHITE FINISH
EX1	EXIT SIGN	CED DESIGN SOLUTIONS			REFER TO RCP			WHITE FINISH
G1	SUSPENDED LINEAR LED	CED DESIGN SOLUTIONS			REFER TO RCP			
G1-EM	SUSPENDED LINEAR LED	CED DESIGN SOLUTIONS			REFER TO RCP			
K1	2X2 RECESSED PANELS	CED DESIGN SOLUTIONS			REFER TO RCP			
K2	2X4 RECESSED PANELS	CED DESIGN SOLUTIONS			REFER TO RCP			
K2-EM	2X4 RECESSED PANELS	CED DESIGN SOLUTIONS			REFER TO RCP			
L1	LINEAR TAPE	CED DESIGN SOLUTIONS		INTEGRAL LED, 2700K, 228LM/FT, 100°/92CRI	REFER TO RCP	1.9W/FT	24VUNV	
LED2	CURVABLE VERTICAL DOT FREE LINEAR LED	CED DESIGN SOLUTIONS		INTEGRAL LED, 2700K, 180LM/FT, 112°/80CRI	REFER TO RCP	2.74W/FT	24VUNV	
LED3	WET LISTED SURFACE MOUNT TAPE IN CHANNEL	CED DESIGN SOLUTIONS		INTEGRAL LED, 2700K, 222LM/FT, 114°/92CRI	REFER TO RCP	2.8W/FT	24VUNV	
P2	DECORATIVE LINEAR PENDANT	CED DESIGN SOLUTIONS			REFER TO RCP			
SC2	DECORATIVE SCONCE	CED DESIGN SOLUTIONS			REFER TO RCP			TOILET ROOMS
ST1	FESTOON LIGHT STRING	CED DESIGN SOLUTIONS		G50 E26 LED LAMP, 2700K, 36LM	REFER TO RCP			
T1	TRACK ACCENT HEADS ON SINGLE CIRCUIT TRACK	CED DESIGN SOLUTIONS		INTEGRAL LED, 2700K, 1500LM, 40°, 90CRI	REFER TO RCP	16W	UNV	
TV	EXTERIOR RECESSED DOWNLIGHT	CED DESIGN SOLUTIONS			REFER TO RCP			BLACK FINISH
XC1	EXTERIOR RECESSED DOWNLIGHT	CED DESIGN SOLUTIONS		INTEGRAL LED, 2700K, 287LM/FT, 112°/92CRI	REFER TO RCP AND EXTERIOR ELEVATIONS	3.5W/FT	120VUNV	
XF	SIMPLE 44" CEILING FAN COAL FINISH 3-BLADE CEILING FAN	MINNA-AREA			REFER TO RCP AND EXTERIOR ELEVATIONS			
XLED1	EXTERIOR WET LISTED LINEAR LED	CED DESIGN SOLUTIONS		INTEGRAL LED, 2700K, 222LM/FT, 114°/92CRI	REFER TO RCP AND EXTERIOR ELEVATIONS			
XSC1	DECORATIVE EXTERIOR WALL SCONCE	CED DESIGN SOLUTIONS			REFER TO RCP AND EXTERIOR ELEVATIONS			
XST1	EXTERIOR RATED FESTOON LIGHT STRING	CED DESIGN SOLUTIONS		G50 E26 LED LAMP, 2700K, 36LM	REFER TO RCP AND EXTERIOR ELEVATIONS	30W	120V	
XWP	WALL PACK	CED DESIGN SOLUTIONS			REFER TO RCP AND EXTERIOR ELEVATIONS			

**1 REFLECTED CEILING PLAN**  
1/4" = 1'-0"



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**GENERAL NOTES**

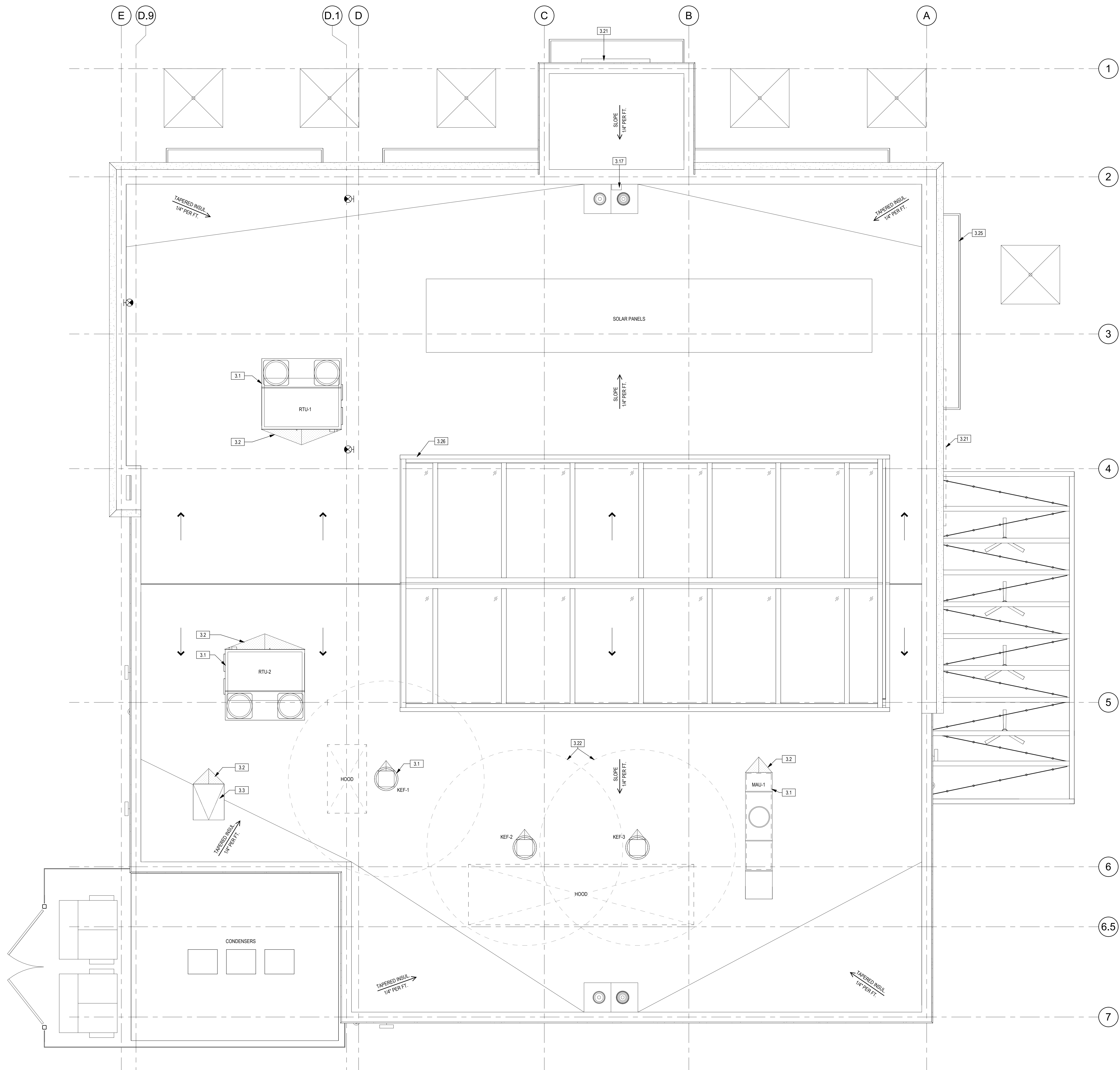
- ALL ROOF TOP MECHANICAL EQUIPMENT, PLUMBING AND ELECTRICAL TO HAVE PHENOLIC LABELS.
- EXHAUST FANS MUST BE LOCATED TO MAINTAIN REQUIRED CLEARANCES FROM RTU INTAKES PER CODE. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
- MAKE-UP AIR & COOKLINE HOOD EXHAUST ARE ELECTRICALLY INTERLOCKED. REFER TO E-SHEETS FOR DETAILS.
- PROVIDE GALVANIZED CRICKETS FOR PROPER DRAINAGE AT ALL ROOF TOP EQUIPMENT OR PENETRATIONS.
- REFER TO M-SHEETS FOR HVAC UNITS.
- ALL EQUIPMENT ON ROOF TO BE MOUNTED ON CURBS AND PROPERLY FLASHED PER EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
- ROOF WALKWAY PADS TO BE PROVIDED BY THE ROOFING CONTRACTOR AS REQUIRED TO PROVIDE A DIRECT PATH TO THE MAINTENANCE SIDE OF ALL ROOF TOP MECHANICAL EQUIPMENT.

**SYMBOL LEGEND**

	ROOF DRAIN, SUMP AREA AND OVERFLOW DRAIN
	HATCH: TAPERED INSULATION
	DIRECTION OF SLOPE SLOPE = 1/4" = 1'-0" MIN. UNO.

**KEYNOTES**

3.1	MECHANICAL EQUIPMENT. REFER TO M-SHEETS.
3.2	CRICKET AT ROOF CURB
3.3	ROOF HATCH
3.17	THRU-WALL OVERFLOW WITH SCUPPER, FABRICATED IN ACCORDANCE WITH SMACNA STANDARDS. ALL FASTENERS TO BE HIDDEN WHERE POSSIBLE.
3.21	EXTERIOR SIGNAGE BY OWNER. REFER TO E-SHEETS
3.22	DASH LINE REPRESENTS MECHANICAL EQUIPMENT CLEARANCE
3.25	METAL CANOPY BELOW
3.26	SKYLIGHT BY KALLIWALL



**1 ROOF PLAN**  
1/4" = 1'-0"

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NO.	DATE	DESCRIPTION

NO. DATE DESCRIPTION  
REVISIONS

Drawing Title  
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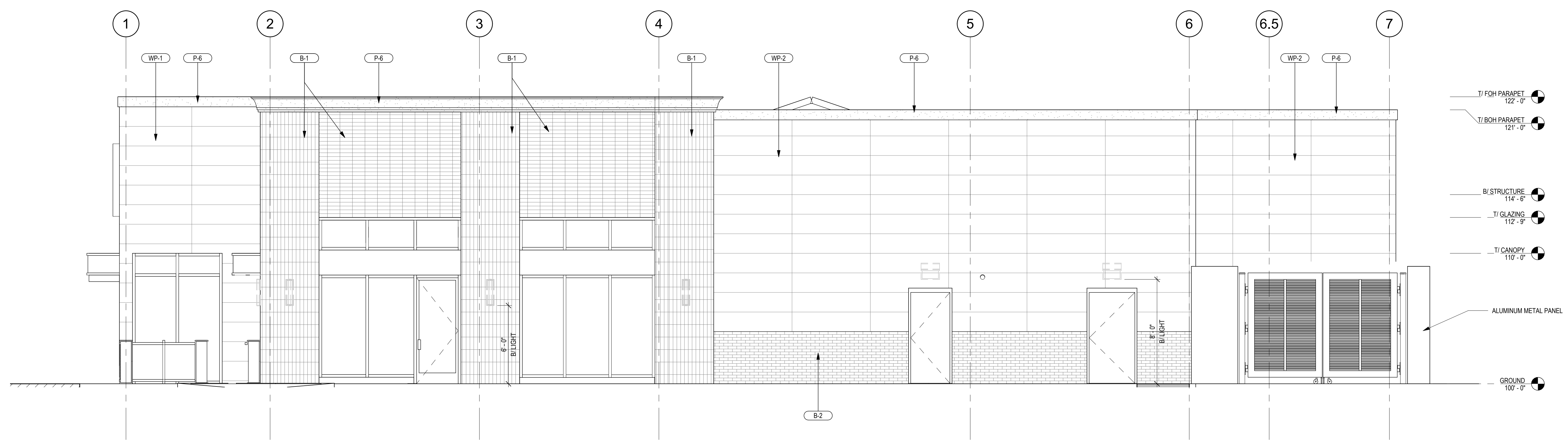
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Scale As indicated Date 09/24/2025

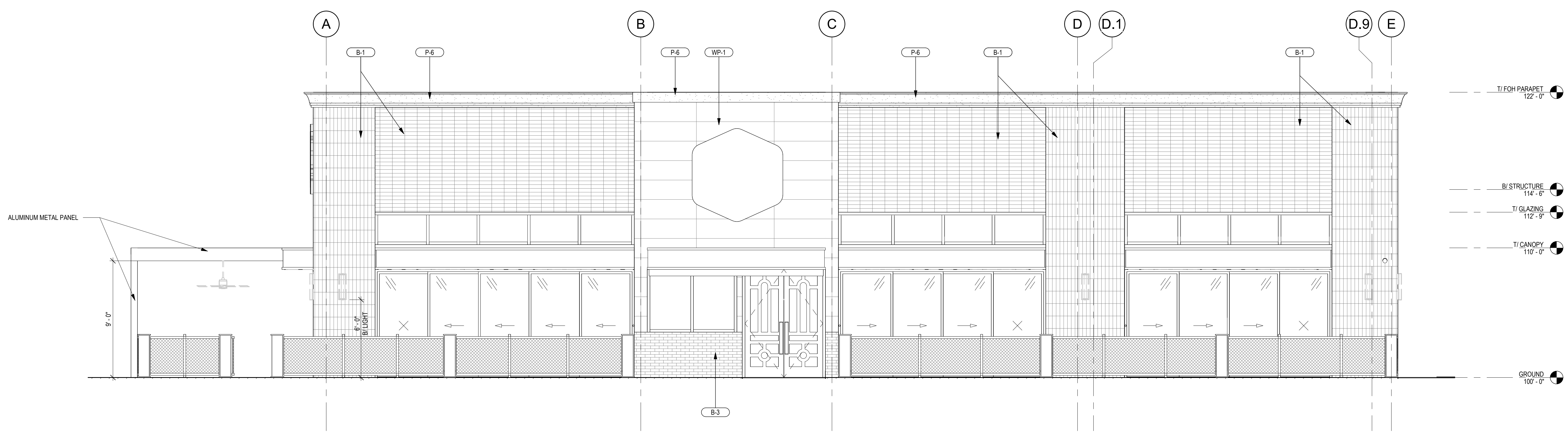
Sheet No.  
**A3.1**

**GENERAL NOTES**

1. VERIFY ALL EXTERIOR DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION, NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. ALL WINDOW & DOOR OPENINGS TO BE FULLY FLASHED WITH SELF-ADHERING, SELF-HEALING ICE & WATER SHIELD.
3. T = TEMPERED GLASS AS INDICATED ON ELEVATION OR DOOR/WINDOW STOREFRONT SCHEDULE IF APPLICABLE.



**2 WEST ELEVATION**  
1/4" = 1'-0"



**1 NORTH ELEVATION**  
1/4" = 1'-0"

**Fatpour**  
TAP WORKS  
200 S. MAIN STREET, MOUNT PROSPECT, IL 60056

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REVISIONS		

NO.	DATE	DESCRIPTION
REVISIONS		

Drawing Title  
**EXTERIOR ELEVATIONS**

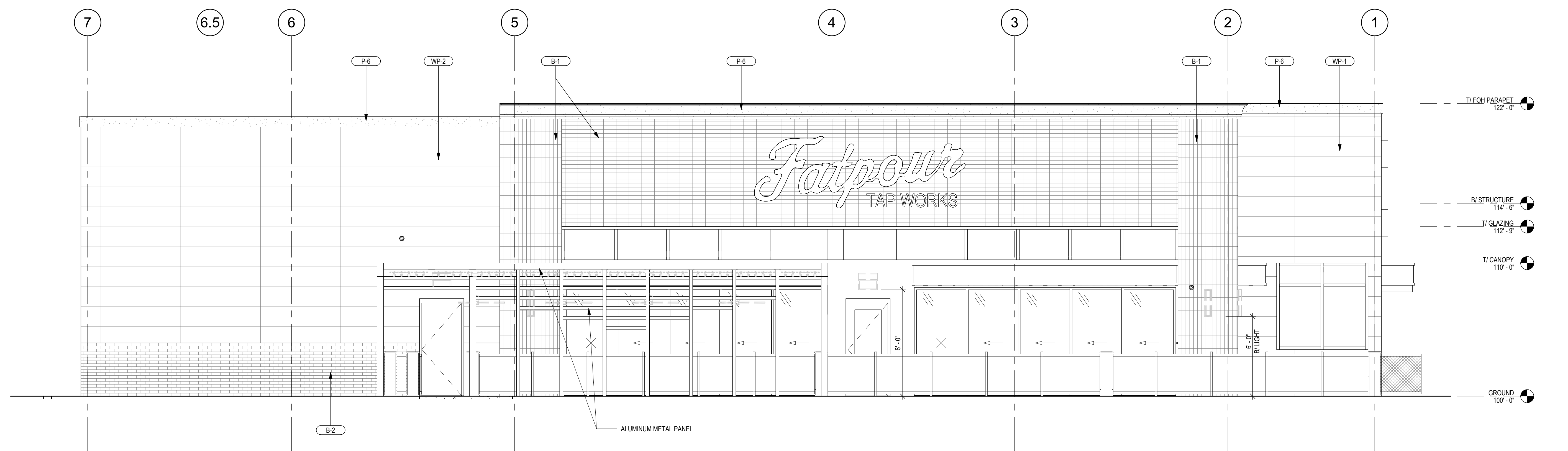
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Date 09/24/2025

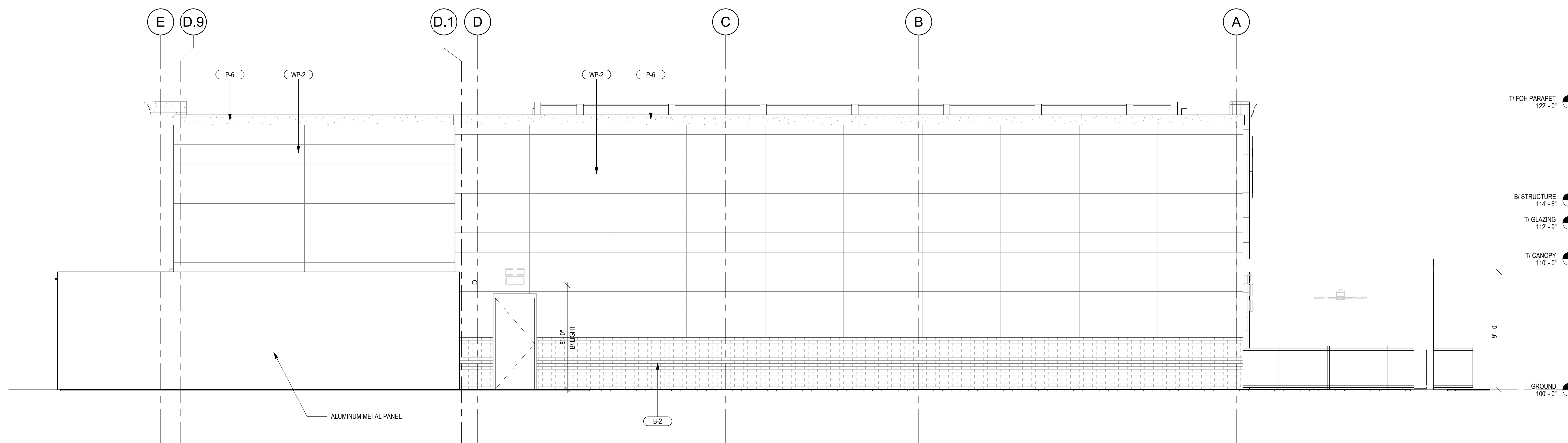
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**GENERAL NOTES**

1. VERIFY ALL EXTERIOR DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION, NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. ALL WINDOW & DOOR OPENINGS TO BE FULLY FLASHED WITH SELF-ADHERING, SELF-HEALING ICE & WATER SHIELD.
3. T = TEMPERED GLASS AS INDICATED ON ELEVATION OR DOOR/WINDOW/STOREFRONT SCHEDULE IF APPLICABLE.



**2 EAST ELEVATION**  
1/4" = 1'-0"



**1 SOUTH ELEVATION**  
1/4" = 1'-0"

**Fatpout**  
TAP WORKS  
200 S. MAIN STREET, MOUNT PROSPECT, IL 60056

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NO.	DATE	DESCRIPTION
REVISIONS		

Drawing Title  
**EXTERIOR ELEVATIONS**

Job No. 255934  
Drawn NCK

Scale As indicated  
Date 09/24/2025

Sheet No.  
**A4.2**

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NO.	DATE	DESCRIPTION
REVISIONS		

Drawing Title  
**ENLARGED TOILET PLANS**

Job No. 255934  
Drawn NCK

Scale As indicated  
Date 09/24/2025

Sheet No.  
**A8.1**

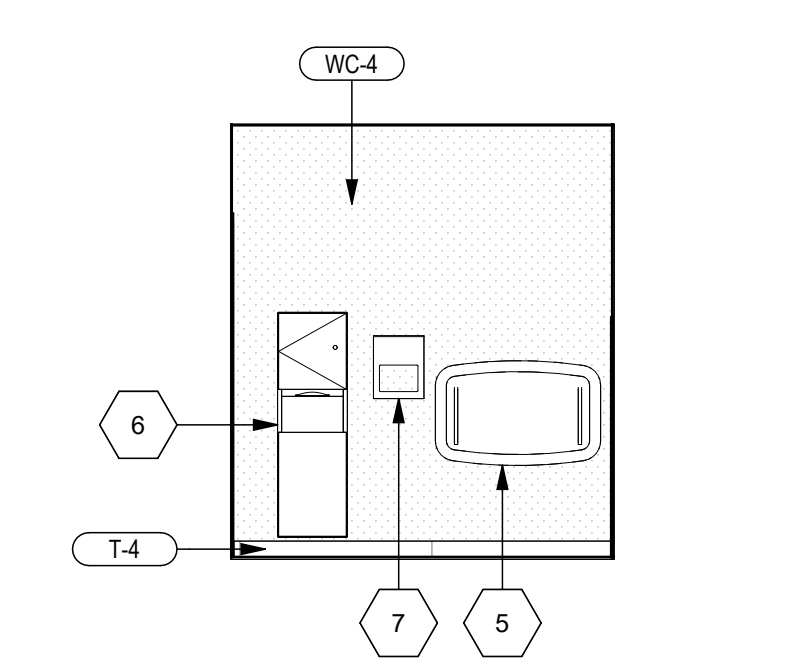
**GENERAL NOTES**

- NO SUBSTITUTIONS
- REFER TO GENERAL ACCESSIBILITY DETAILS FOR ALL ACCESSIBLE MOUNTING HEIGHT REQUIREMENTS
- GENERAL CONTRACTOR TO ENSURE THAT FLUSH VALVES DO NOT CONFLICT WITH GRAB BAR LOCATIONS
- TOILET PARTITION STALL DOOR JOINTS ARE NOT TO EXCEED 1/4"
- TOILET AND URINAL PARTITION GAPS AT WALLS ARE NOT TO BE LARGER THAN 3/4"
- FIELD CONDITIONS TO BE VERIFIED AND SHOP DRAWINGS ARE TO BE PROVIDED BEFORE ANY FABRICATION TAKES PLACE. ANY ERRORS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- VERIFY PRODUCTS TO BE USED IN TOILET ROOMS WITH OWNER VENDOR. DO NOT COMMENCE ROUGH-INS WITHOUT COMPLETE CUT-SHEETS.

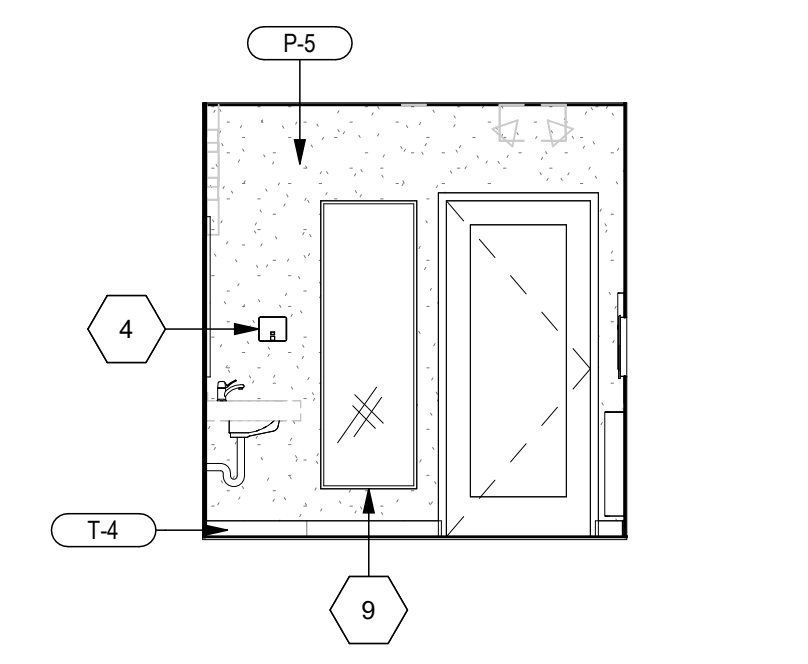
**PLUMBING ACCESSORIES**

MARK	DESCRIPTION	MANUFACTURER	GROUP/MODEL	FINISH	MOUNTING	REMARKS
1	42" HORIZONTAL GRAB BAR @ SIDE 36" HORIZONTAL GRAB BAR @ BACK 18" VERTICAL GRAB BAR @ SIDE	BOBRICK	SERIES B-5806 #B-5806X42, #B5806X36, #B-5806X18	STAINLESS STEEL	SURFACE	PROVIDED AND INSTALLED BY G.C.
2	LAVATORY	AMERICAN STANDARD		WHITE	UNDERMOUNTED	PROVIDED AND INSTALLED BY G.C.
3	WATER FACUET	BOBRICK	B-8892	MATTE BLACK	SURFACE	PROVIDED AND INSTALLED BY G.C.
4	SOAP DISPENSER	BOBRICK	B-4112	STAINLESS STEEL	SURFACE	PROVIDED AND INSTALLED BY G.C.
5	BABY CHANGING STATION - HORIZONTAL	AMERICAN SPECIALTIES		BLACK	RECESSED	PROVIDED AND INSTALLED BY G.C.
6	PAPER TOWEL DISPENSER AND WASTE RECEPTACLE	AMERICAN SPECIALTIES		BLACK	RECESSED	PROVIDED AND INSTALLED BY G.C.
7	HAND DRYER	American Specialties Inc.	0198MH-1	SATIN STAINLESS STEEL	SURFACE	PROVIDED AND INSTALLED BY G.C.
8	PIR Mirror 20inch * 40inch Assembly	KOHLER Co.	K-26051-BLL	BLACK	SURFACE	PROVIDED AND INSTALLED BY G.C.
9	FULL LENGTH MIRROR	BOBRICK	B-290 2472 MBLK	BLACK	SURFACE	PROVIDED AND INSTALLED BY G.C.
10	WATER CLOSET	SLOAN	ST-2009	WHITE	WALL	PROVIDED AND INSTALLED BY G.C.
11	URINAL	SLOAN	SU-7499	WHITE	WALL	PROVIDED AND INSTALLED BY G.C.
12	TOILET PARTITION	BRADLEY	FLOOR TO CEILING SERIES 700	MATTE BLACK	-	FLOOR ANCHORED PARTITIONS NOTE: CONTRACTOR TO PROVIDE ADEQUATE IN-WALL BLOCKING FOR SUPPORT
13	SEAT COVER DISPENSER				SURFACE	PROVIDED AND INSTALLED BY G.C.
14	TOILET PAPER DISPENSER				SURFACE	PROVIDED AND INSTALLED BY G.C.
15	SANITARY NAPKIN DISPENSER				SURFACE	PROVIDED AND INSTALLED BY G.C.

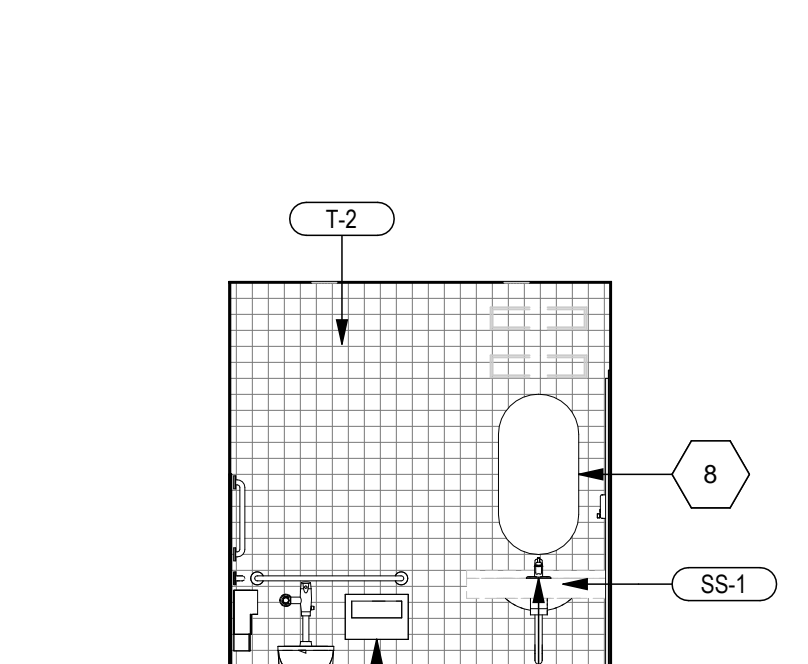
**17 INTERIOR ELEVATION**  
1/4" = 1'-0"  
@ FAMILY ROOM



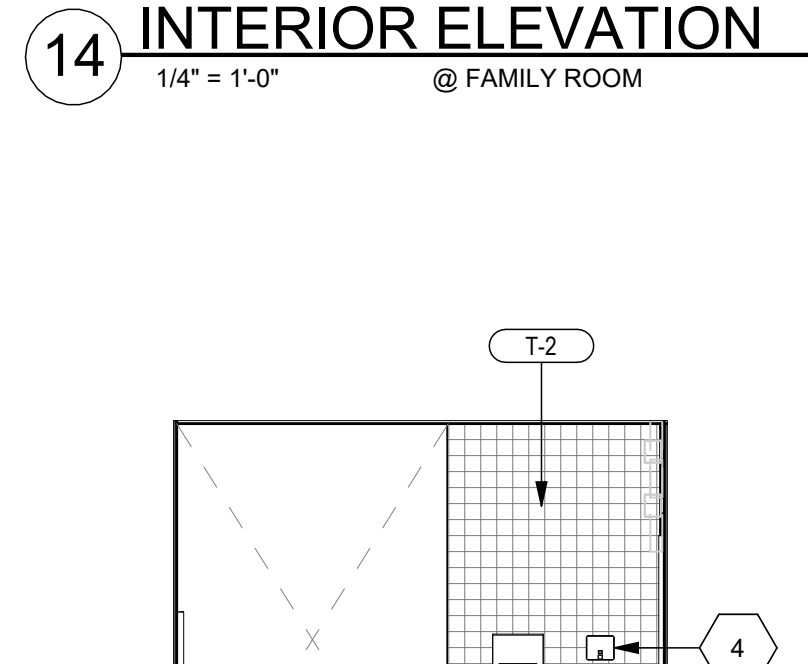
**16 INTERIOR ELEVATION**  
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@ FAMILY ROOM



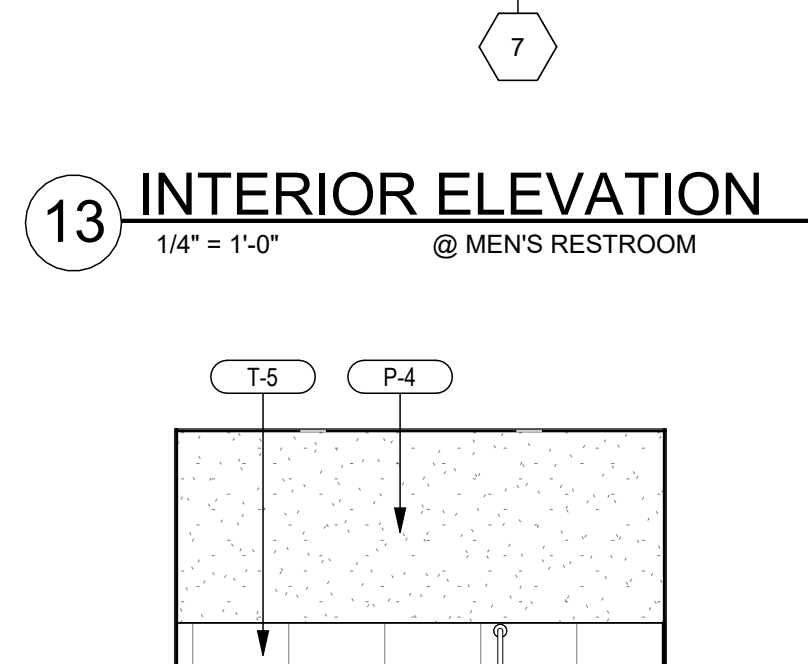
**15 INTERIOR ELEVATION**  
1/4" = 1'-0"  
@ FAMILY ROOM



**14 INTERIOR ELEVATION**  
1/4" = 1'-0"  
@ FAMILY ROOM



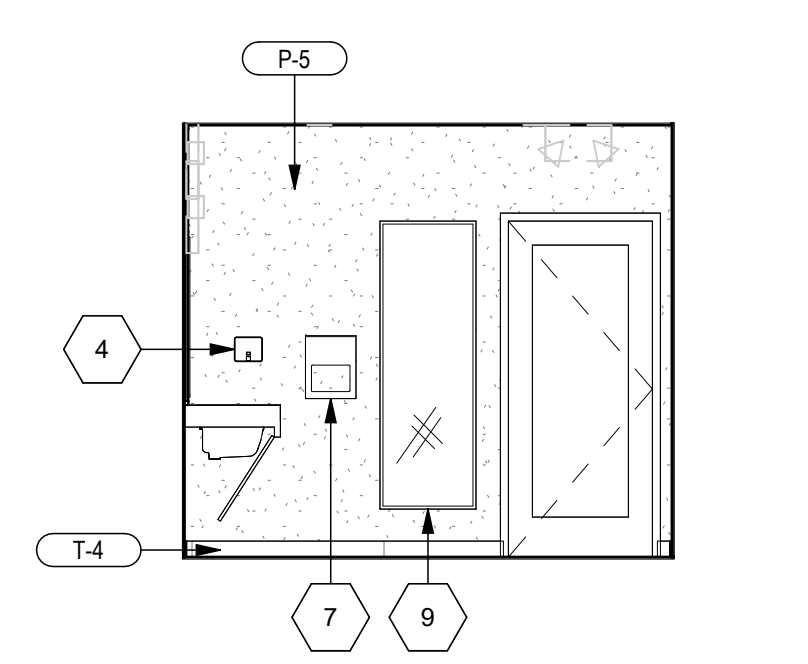
**13 INTERIOR ELEVATION**  
1/4" = 1'-0"  
@ MEN'S RESTROOM



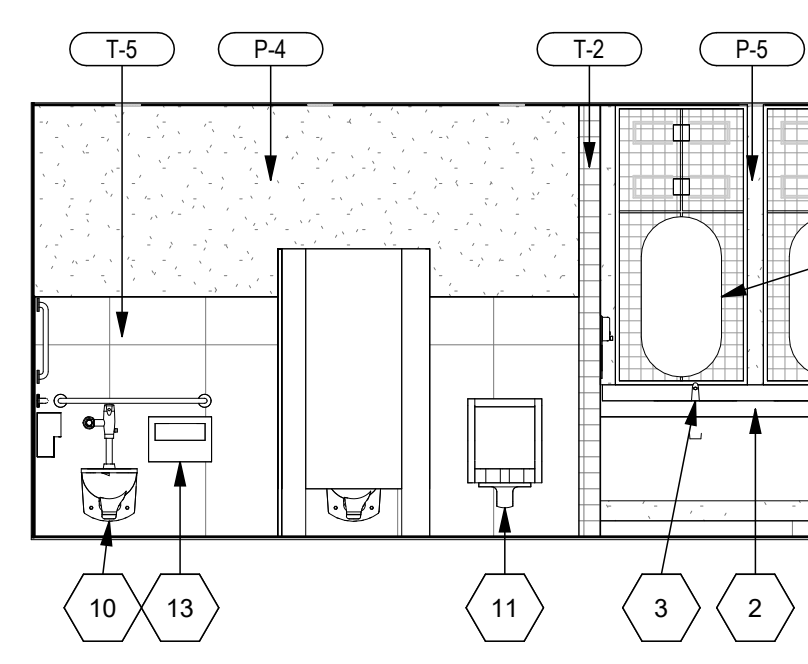
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1/4" = 1'-0"  
@ MEN'S RESTROOM



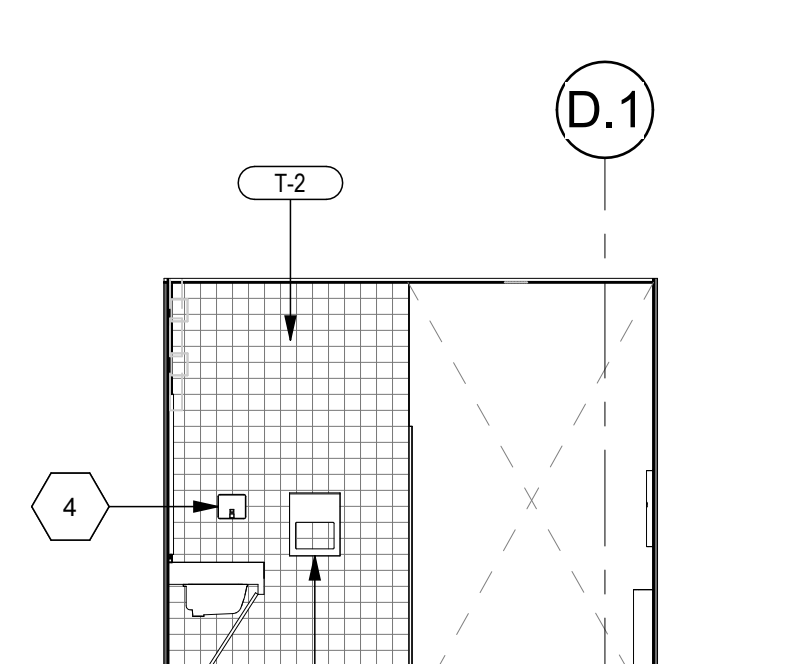
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@ MEN'S RESTROOM



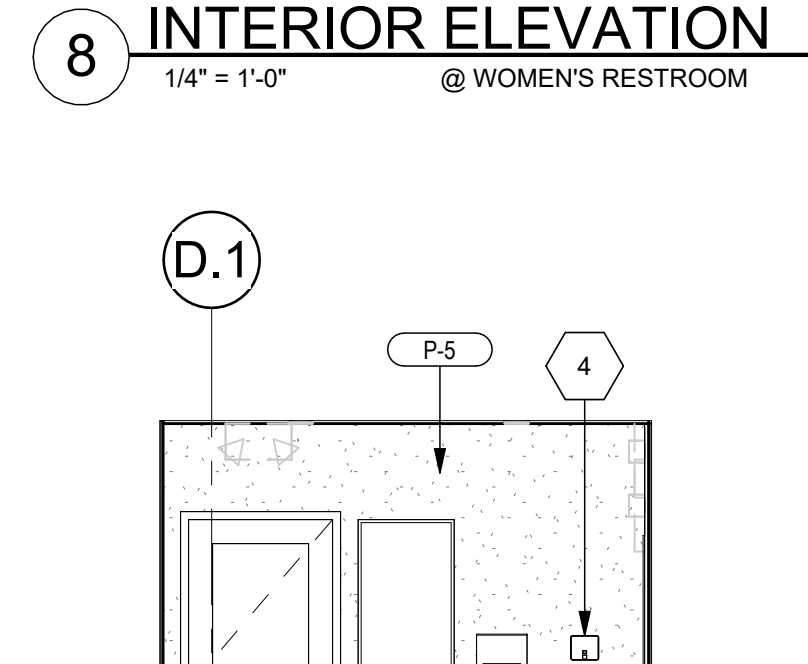
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1/4" = 1'-0"  
@ MEN'S RESTROOM



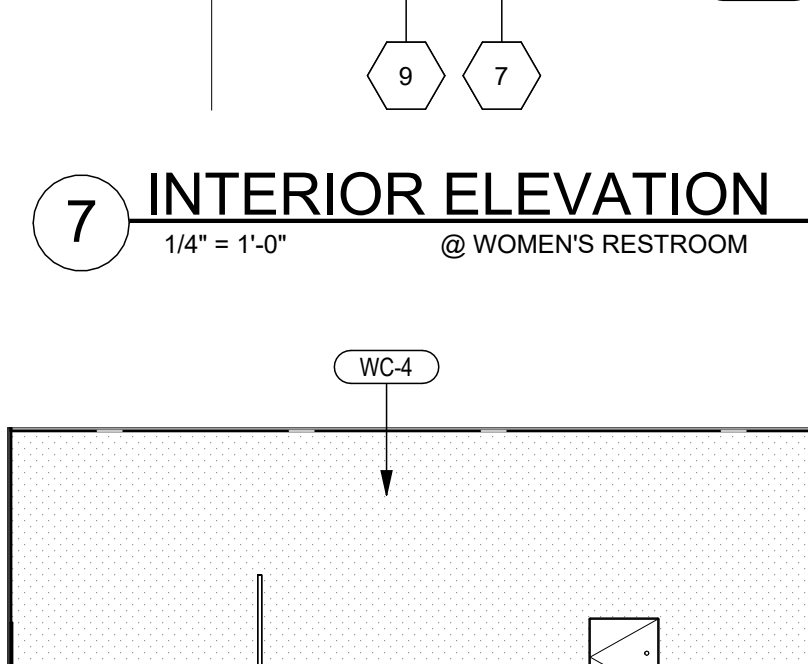
**9 INTERIOR ELEVATION**  
1/4" = 1'-0"  
@ MEN'S RESTROOM



**8 INTERIOR ELEVATION**  
1/4" = 1'-0"  
@ WOMEN'S RESTROOM



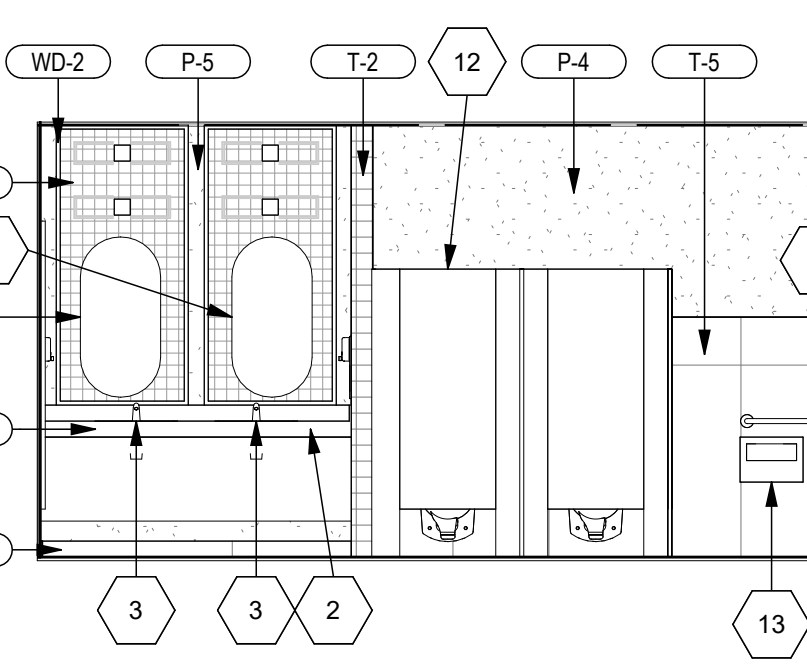
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@ WOMEN'S RESTROOM



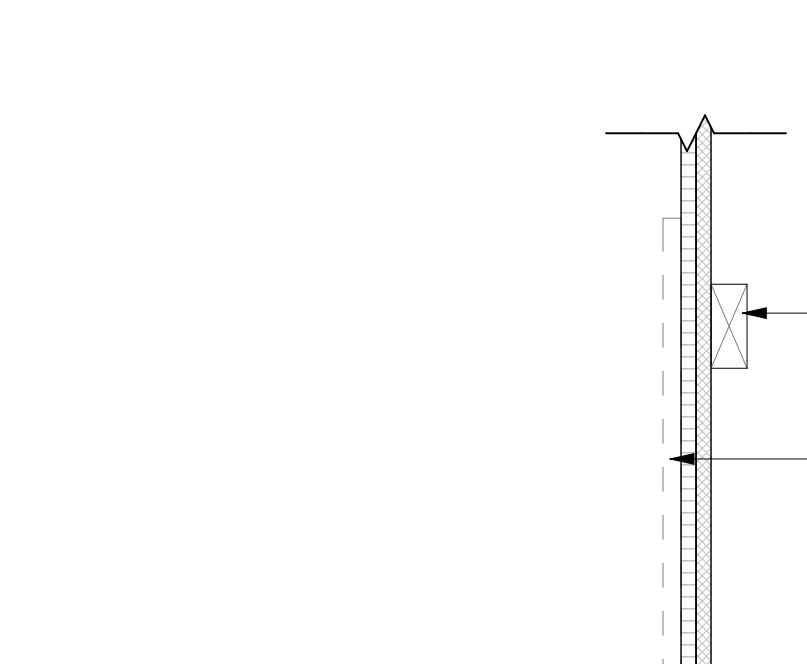
**6 INTERIOR ELEVATION**  
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@ WOMEN'S RESTROOM



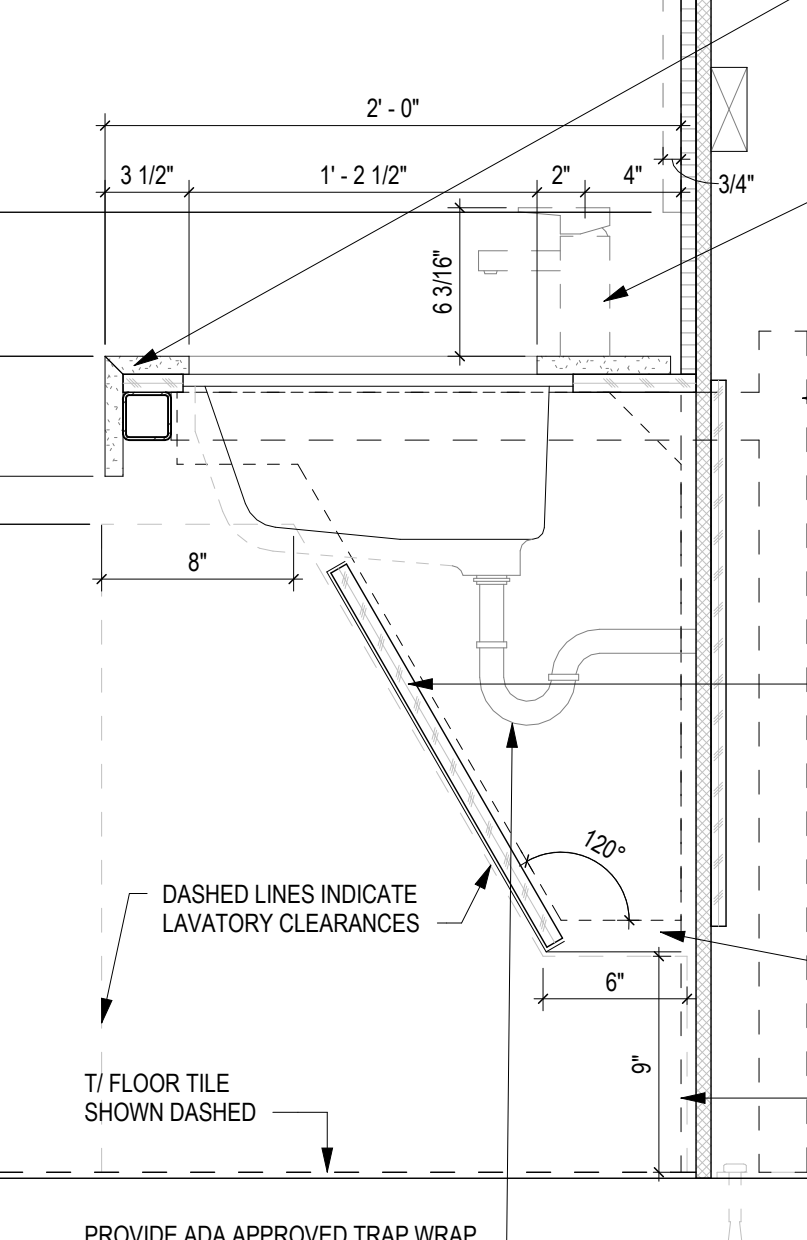
**5 INTERIOR ELEVATION**  
1/4" = 1'-0"  
@ WOMEN'S RESTROOM



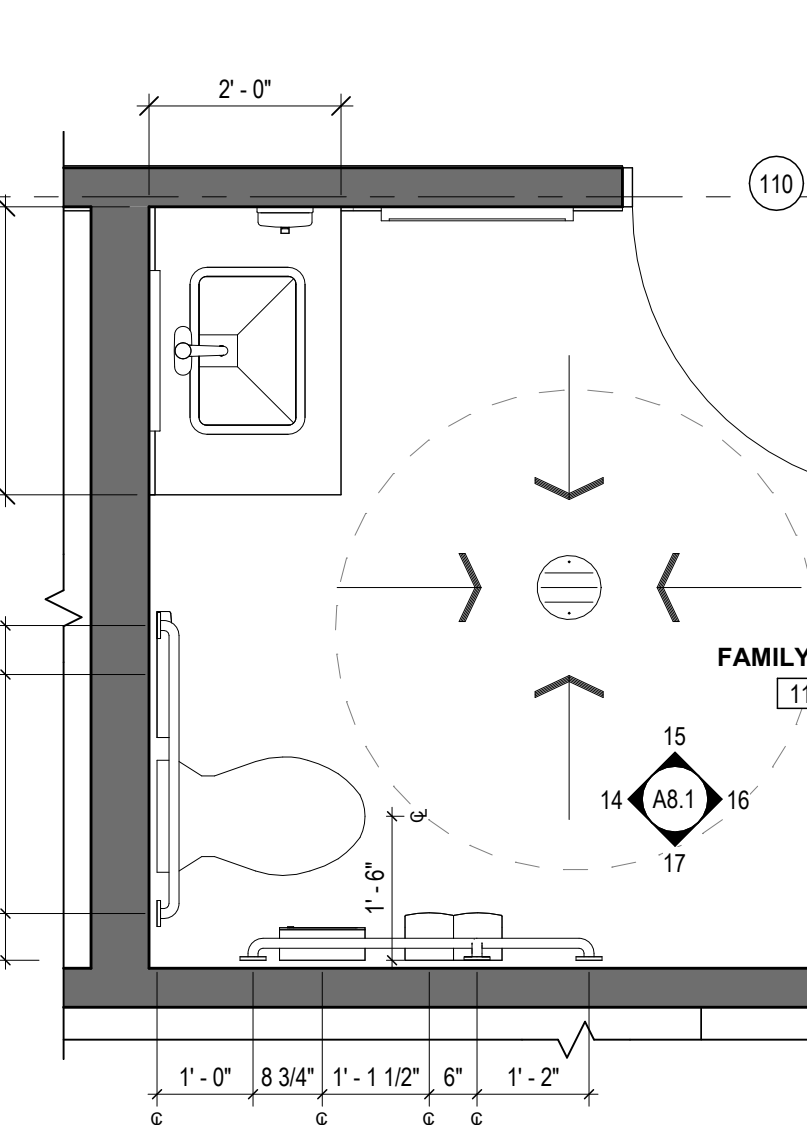
**4 INTERIOR ELEVATION**  
1/4" = 1'-0"  
@ WOMEN'S RESTROOM



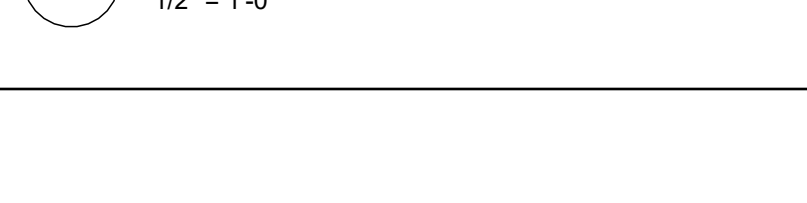
**3 LAVATORY SECTION DETAIL**  
1 1/2" = 1'-0"



**2 ENLARGED RESTROOM PLAN**  
1/2" = 1'-0"

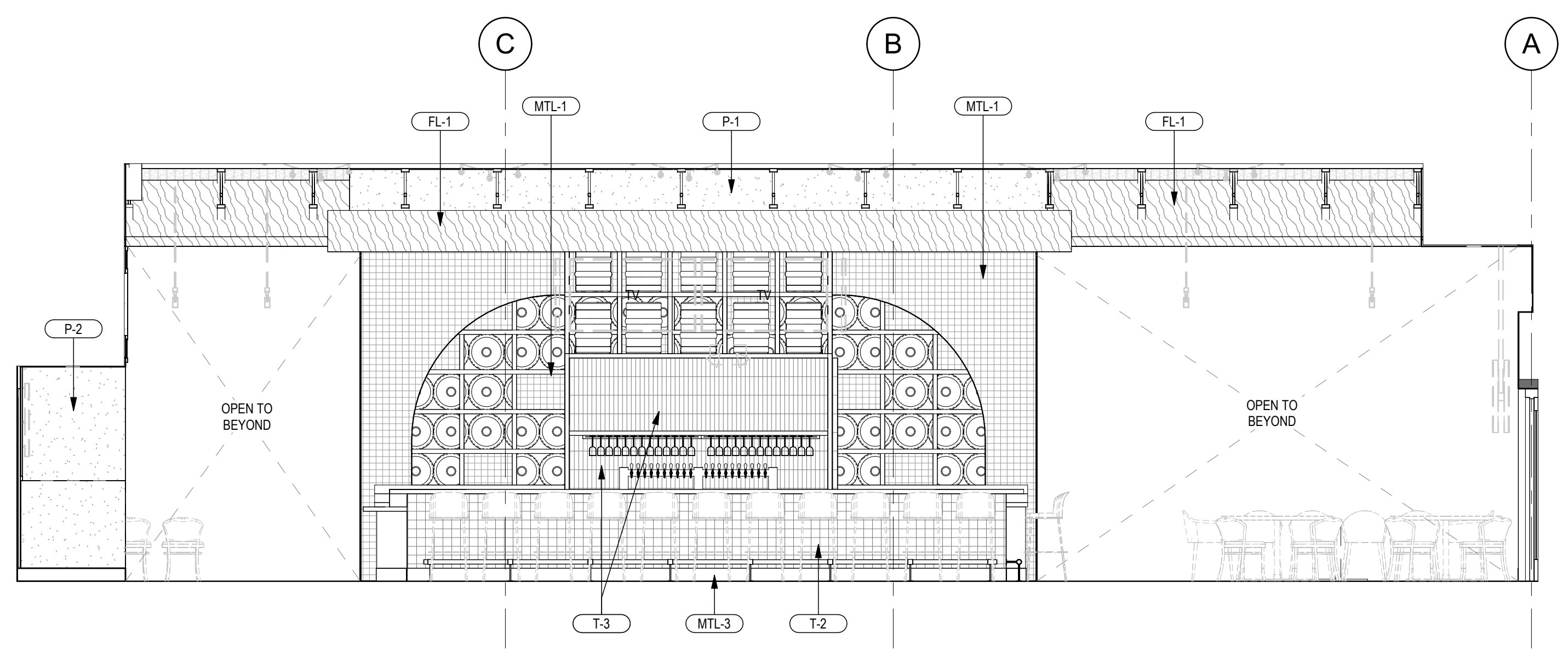


**1 ENLARGED RESTROOM PLAN**  
1/2" = 1'-0"

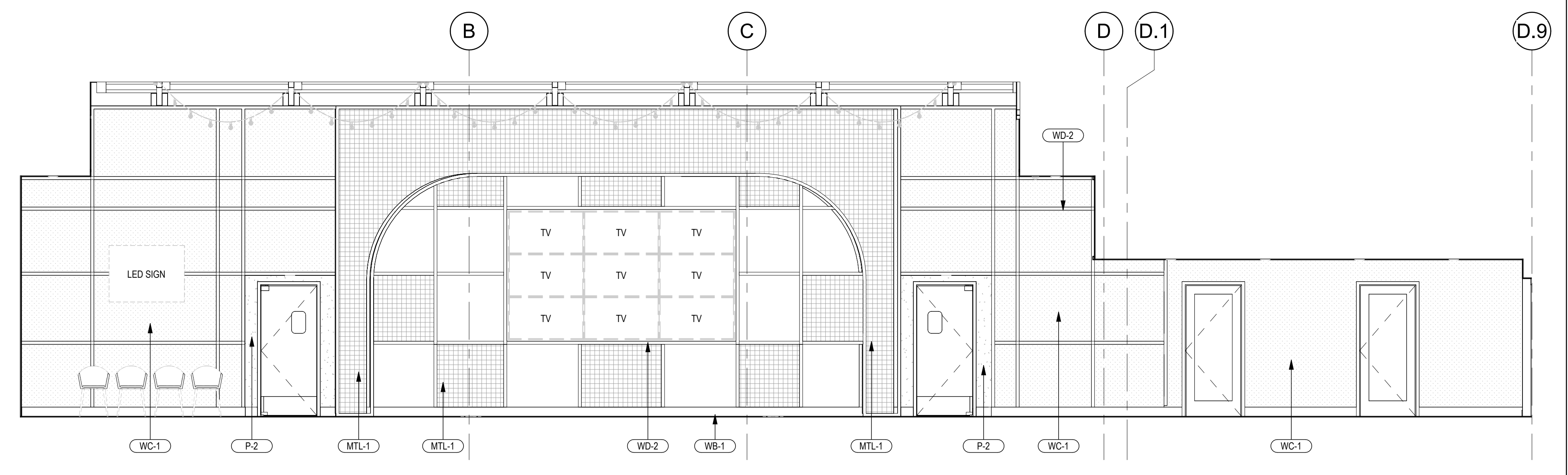


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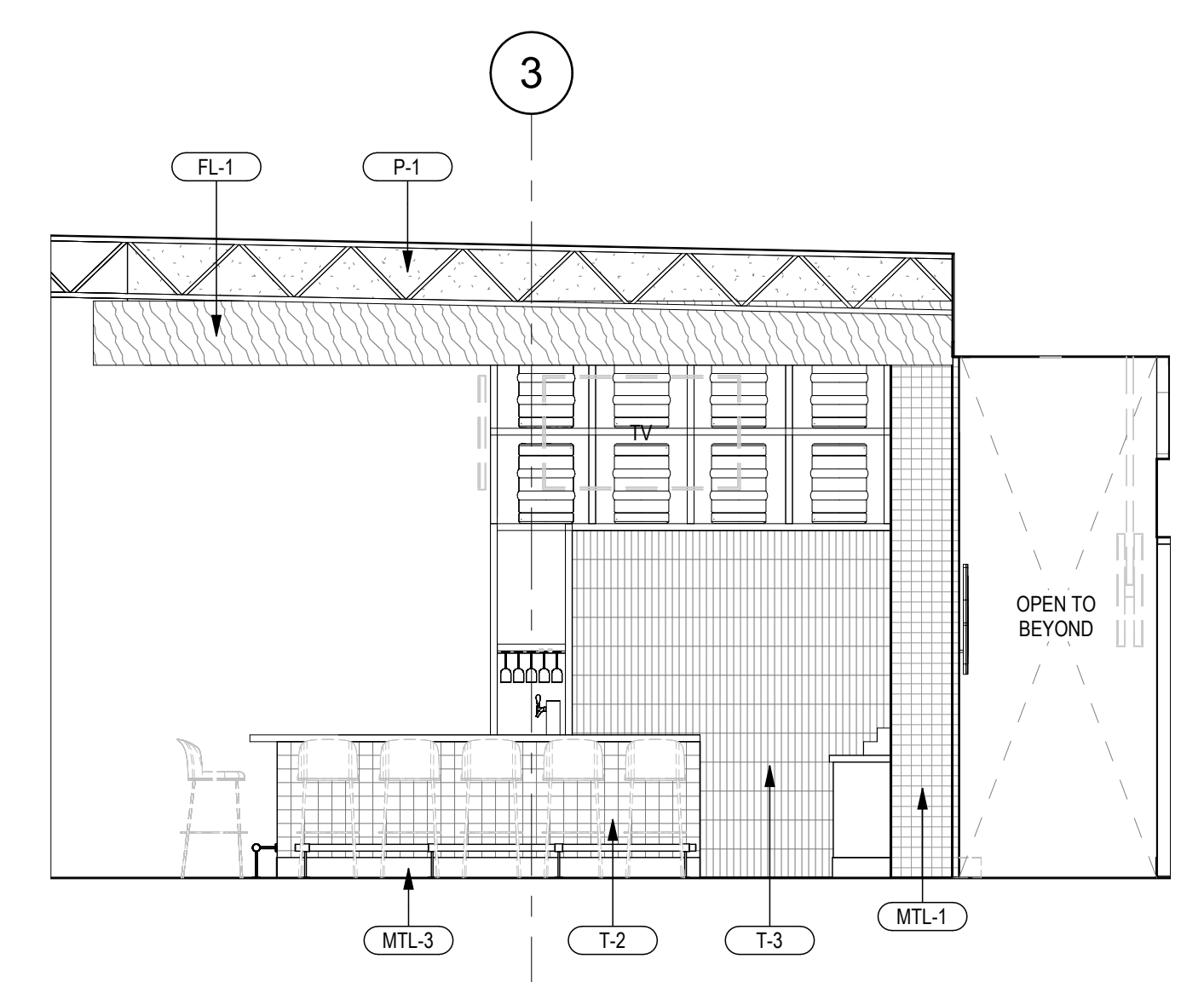




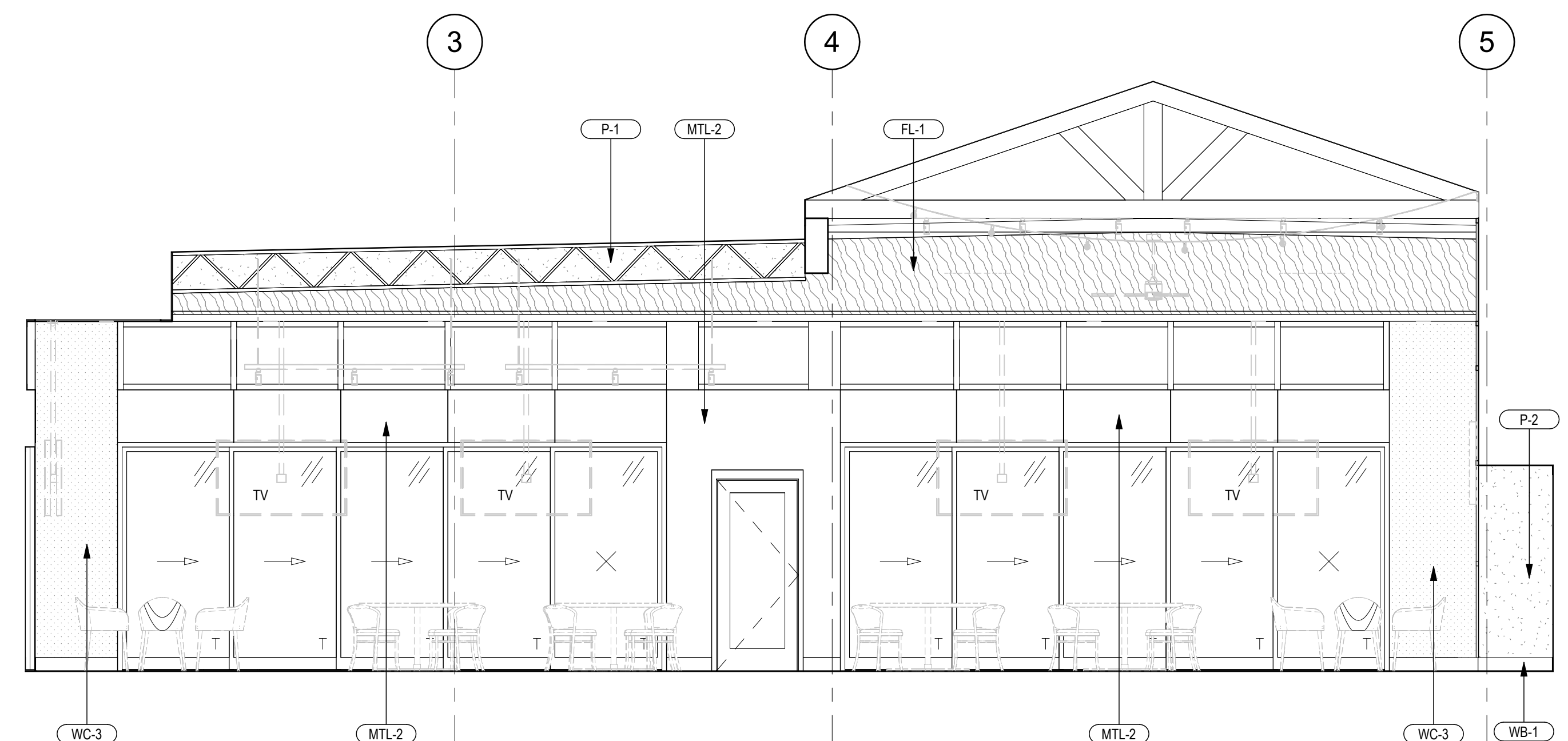
8 INTERIOR ELEVATION  
1/4" = 1'-0"



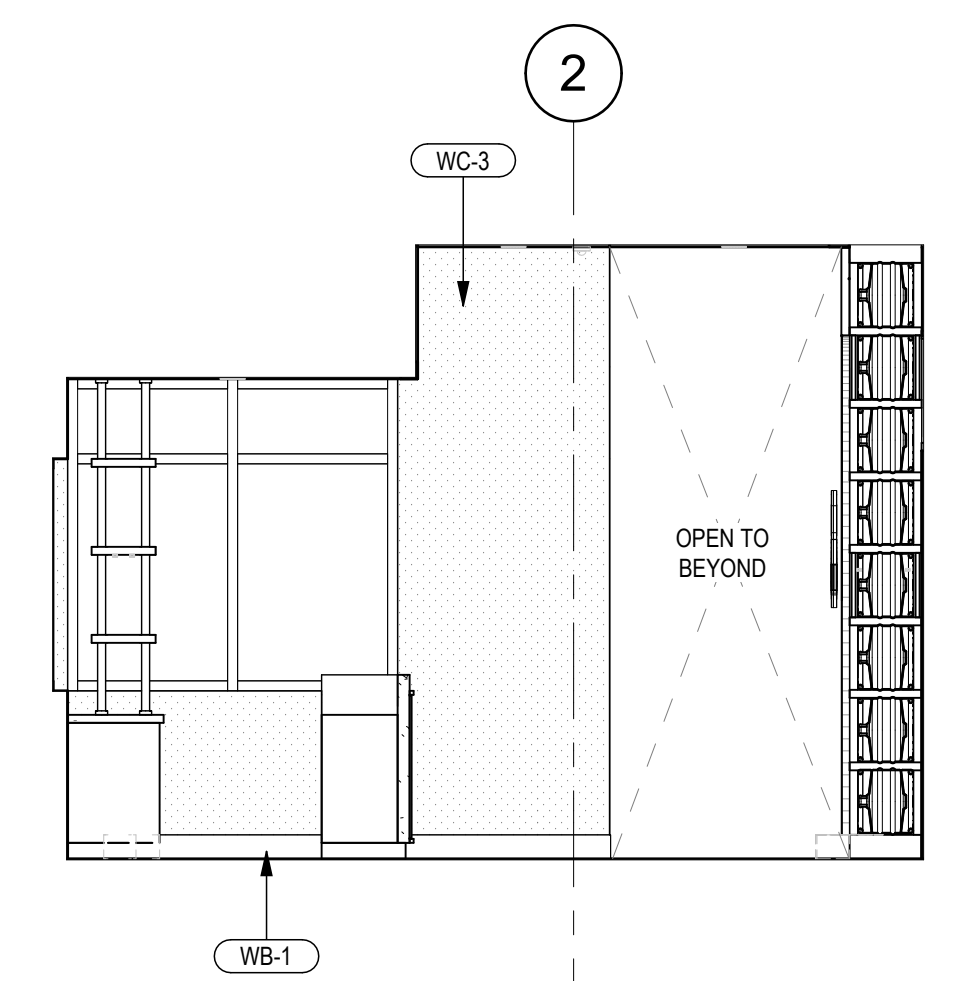
7 INTERIOR ELEVATION  
1/4" = 1'-0"



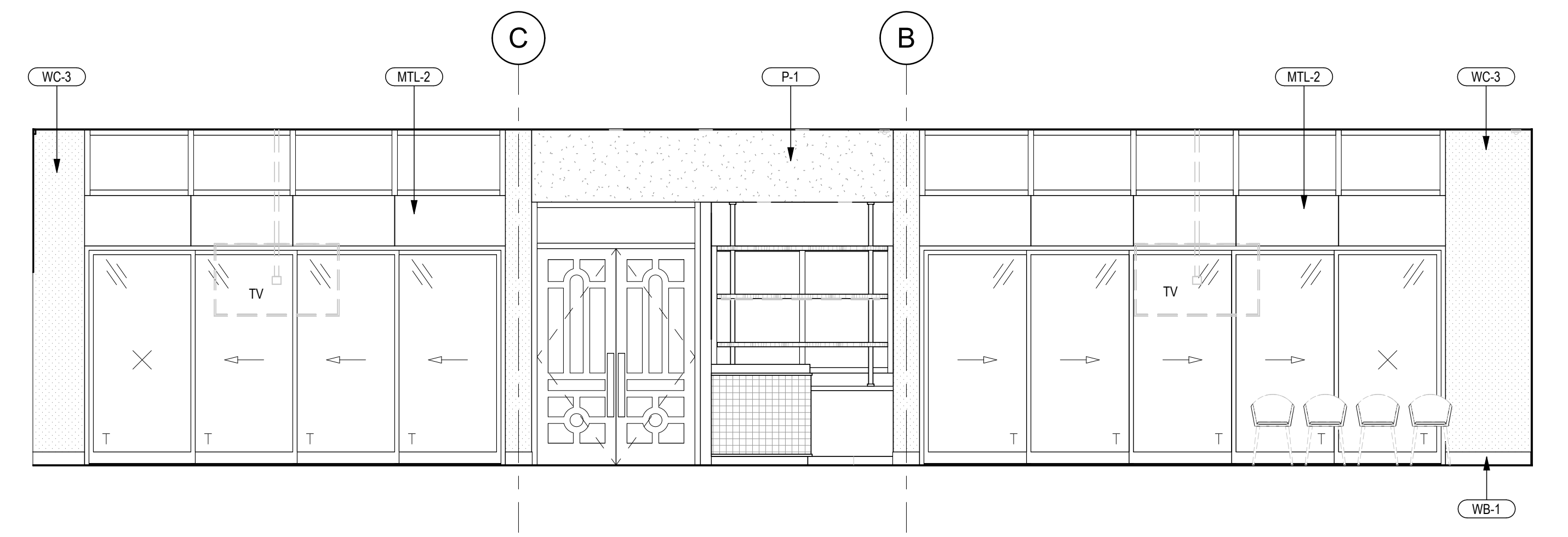
6 INTERIOR ELEVATION  
1/4" = 1'-0"



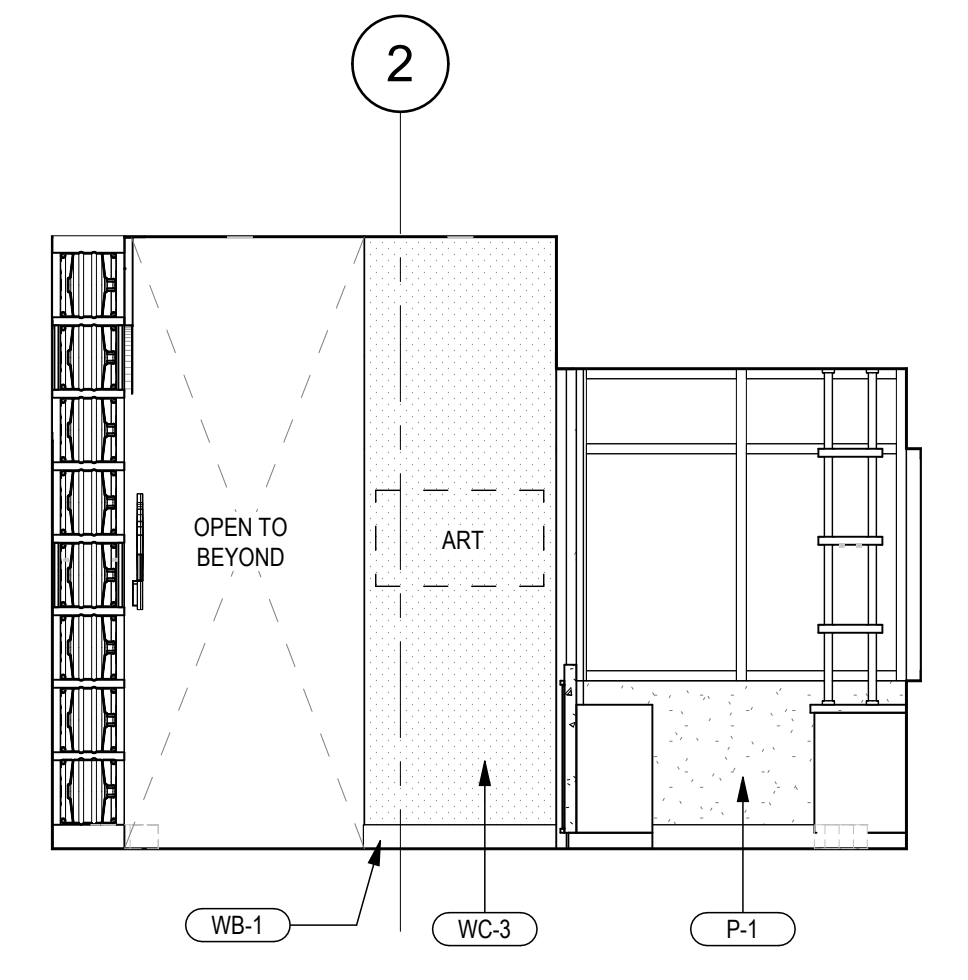
5 INTERIOR ELEVATION  
1/4" = 1'-0"



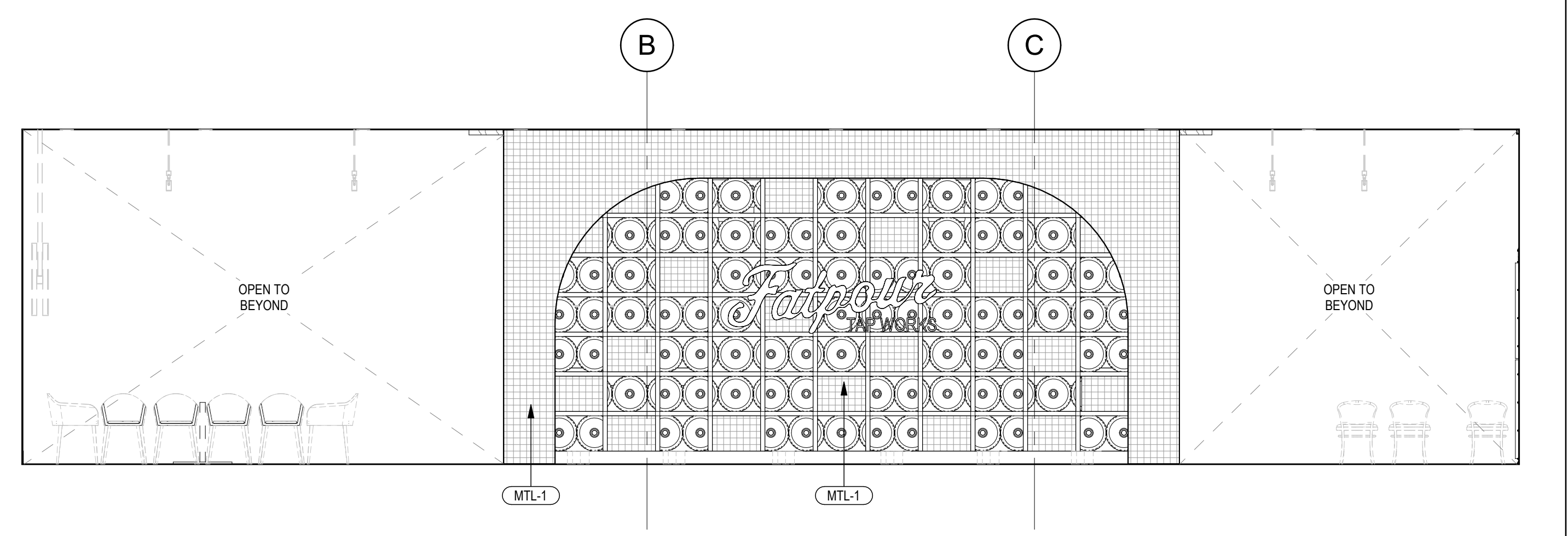
4 INTERIOR ELEVATION  
1/4" = 1'-0"



3 INTERIOR ELEVATION  
1/4" = 1'-0"



2 INTERIOR ELEVATION  
1/4" = 1'-0"



1 INTERIOR ELEVATION  
1/4" = 1'-0"

**FIELD VERIFICATION**  
Contractor shall verify all field dimensions and conditions at the job site and notify Aria Group Architects, Inc. of any discrepancies before beginning or fabricating any work. Do not scale these drawings.  
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NO.	DATE	DESCRIPTION

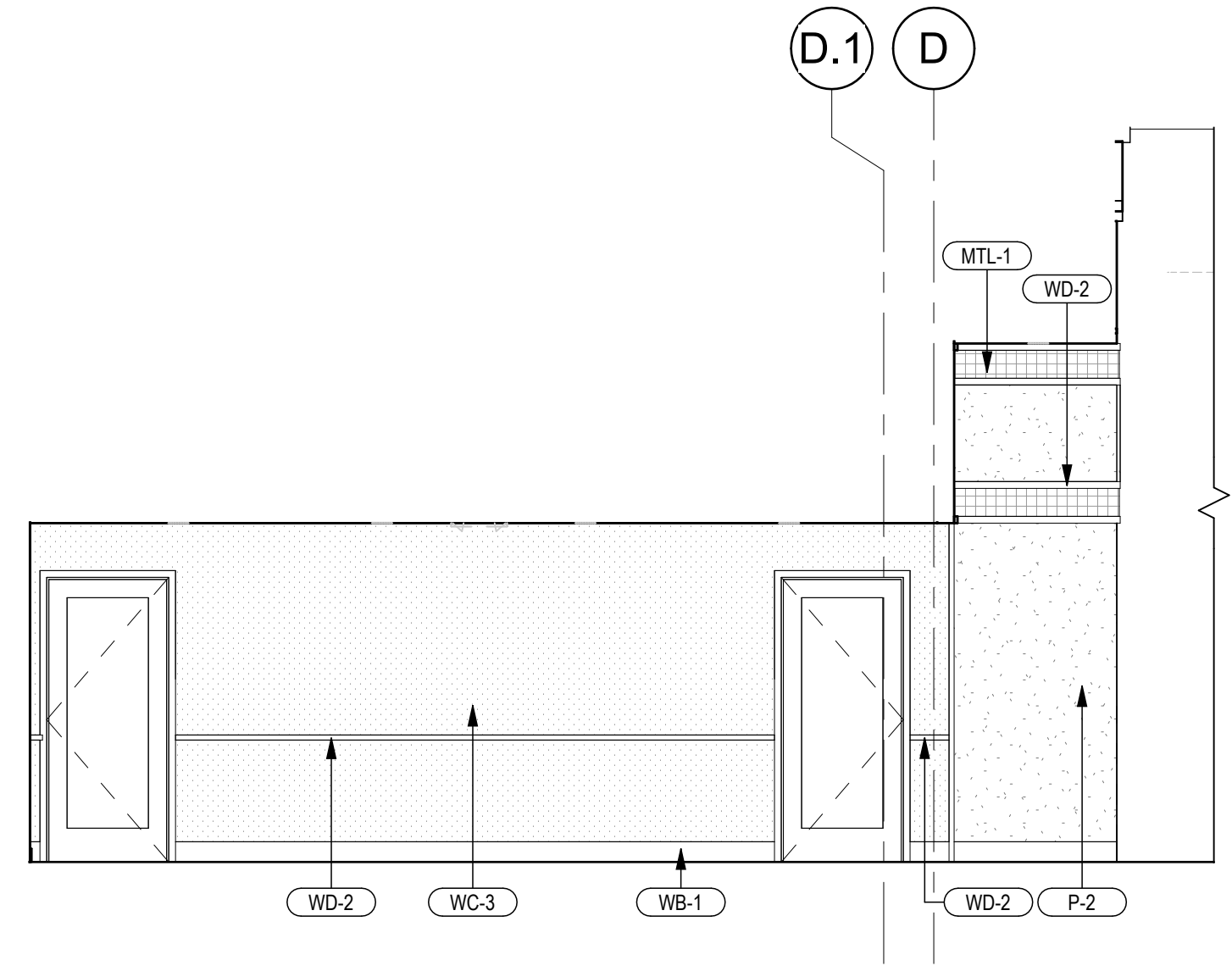
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Drawing Title  
**INTERIOR ELEVATIONS**

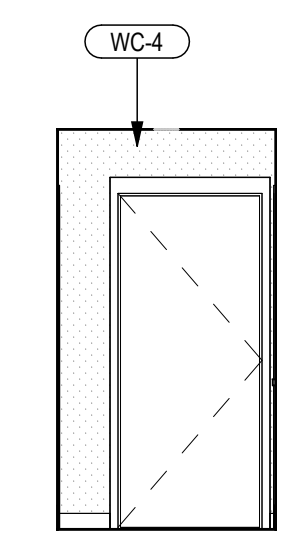
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Drawn NCK

Scale 1/4" = 1'-0"  
Date 09/24/2025

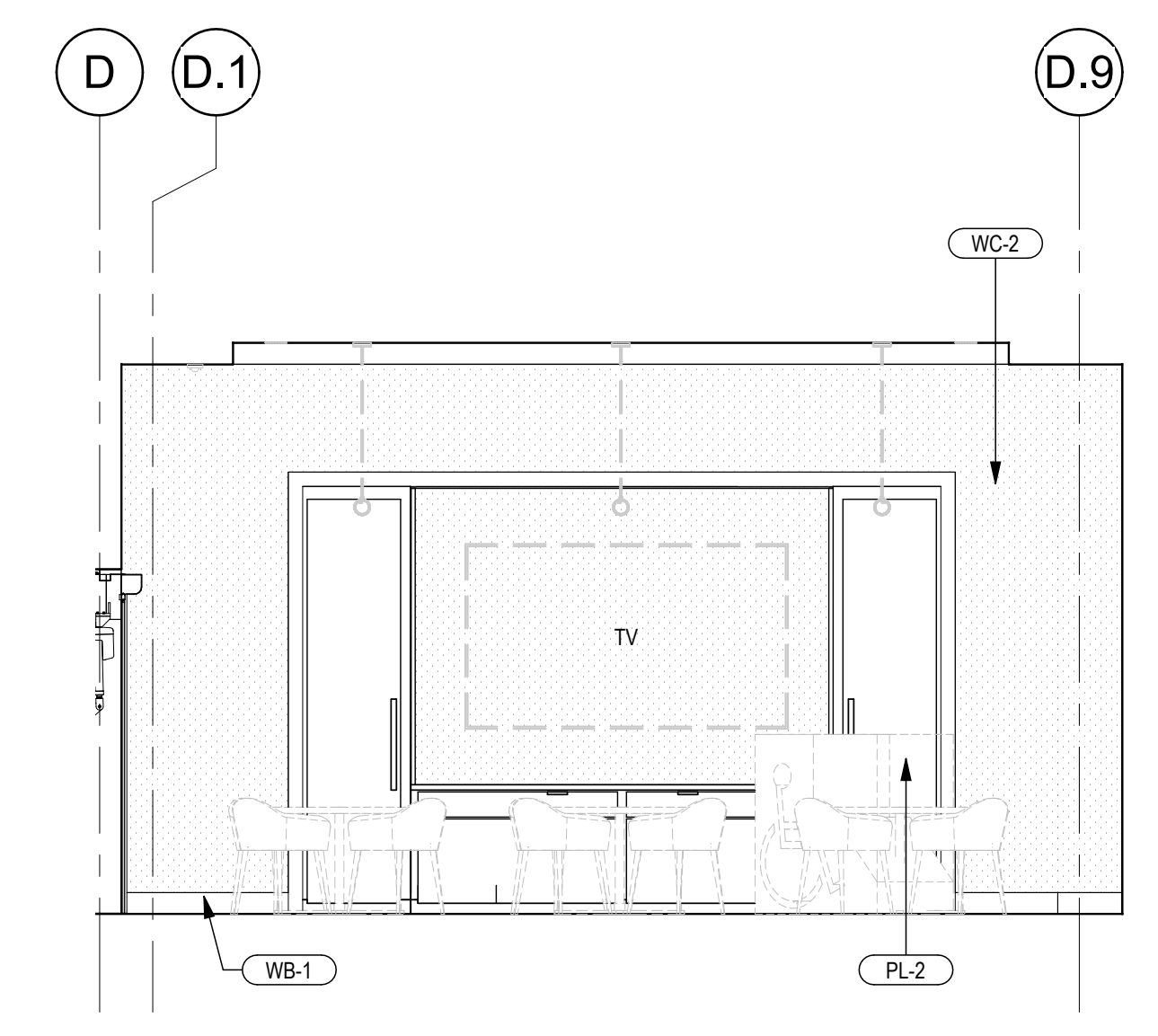
Sheet No.  
**A10.1**



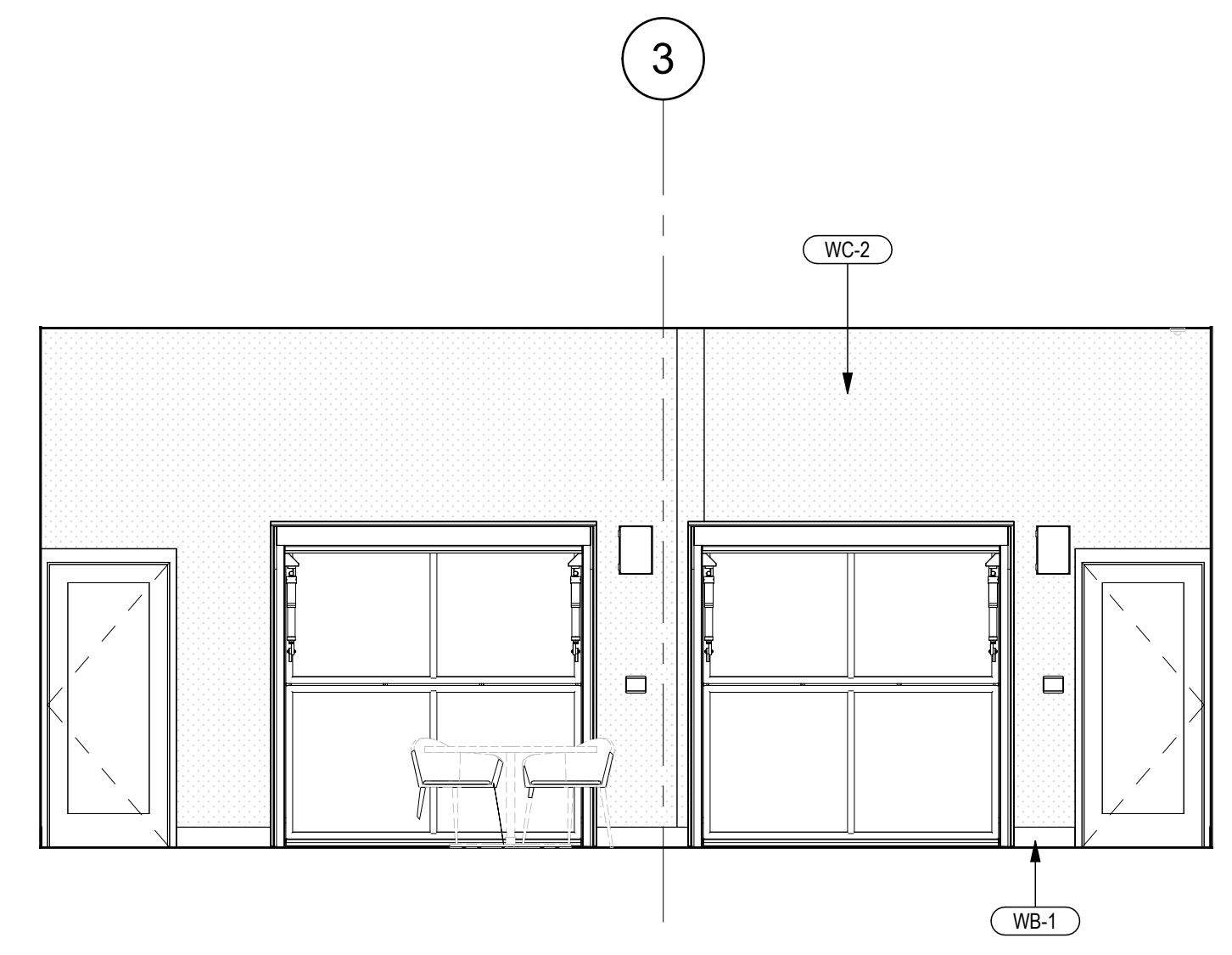
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1/4" = 1'-0"



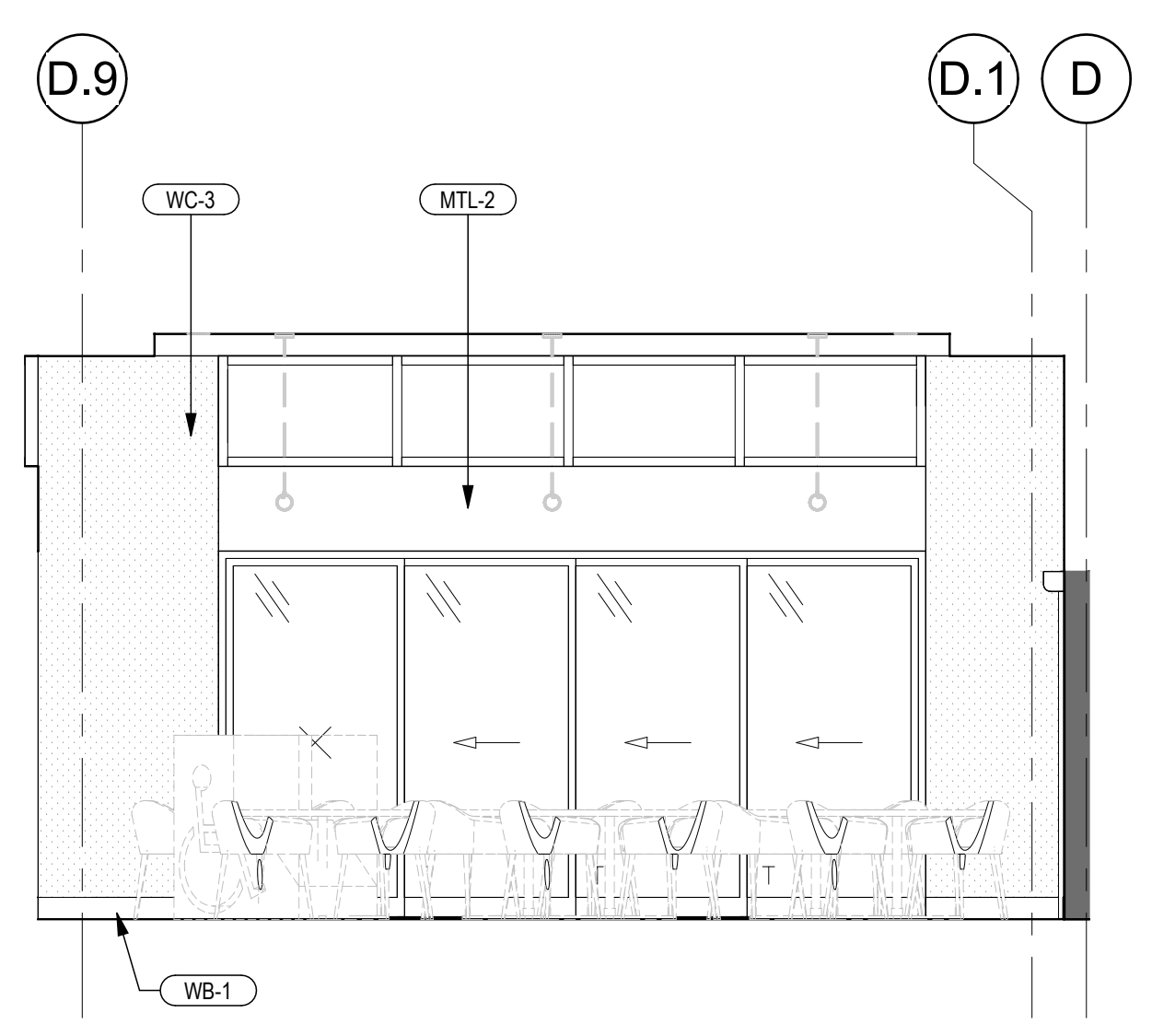
15 INTERIOR ELEVATION  
1/4" = 1'-0"



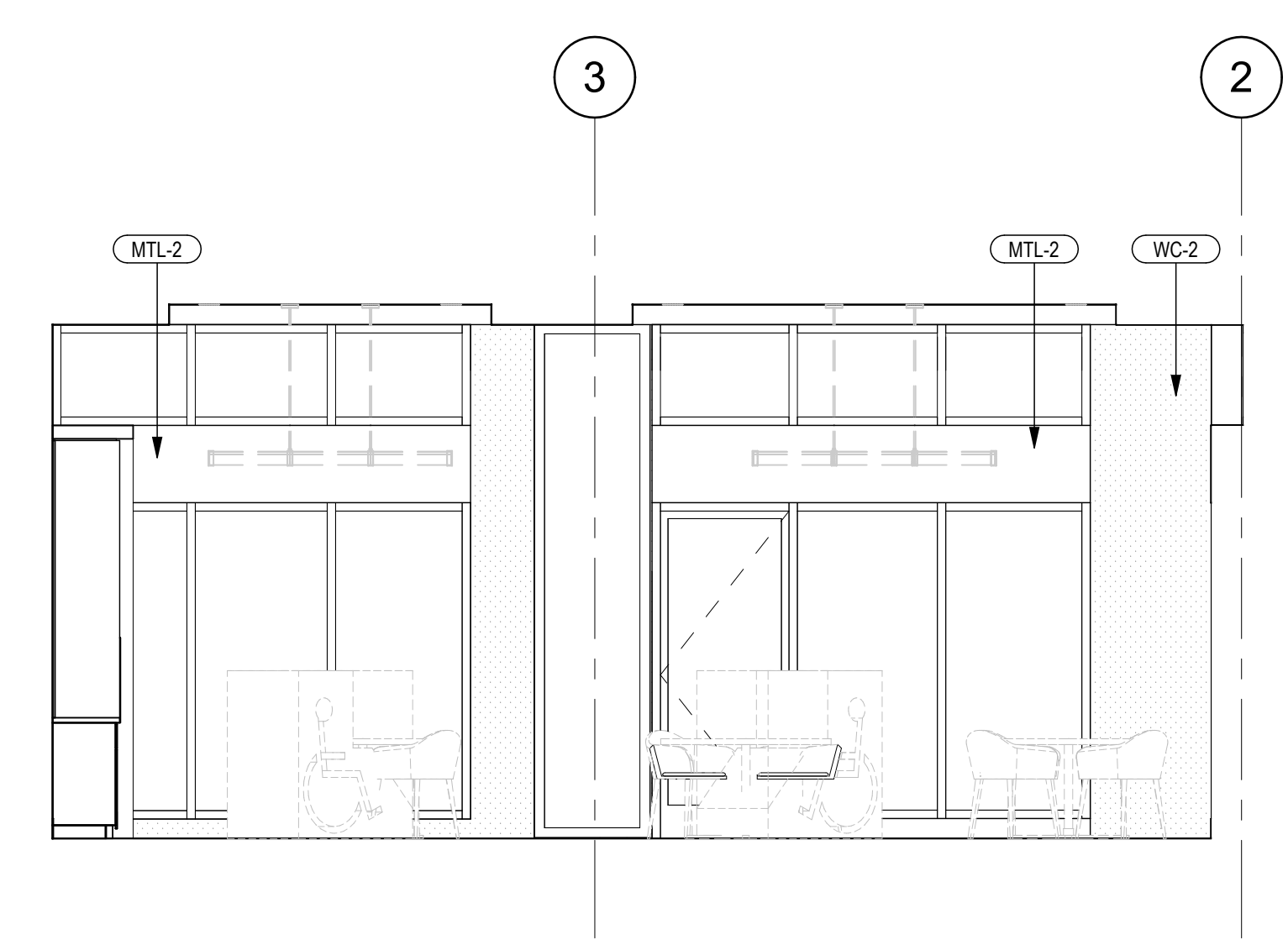
14 INTERIOR ELEVATION  
1/4" = 1'-0"



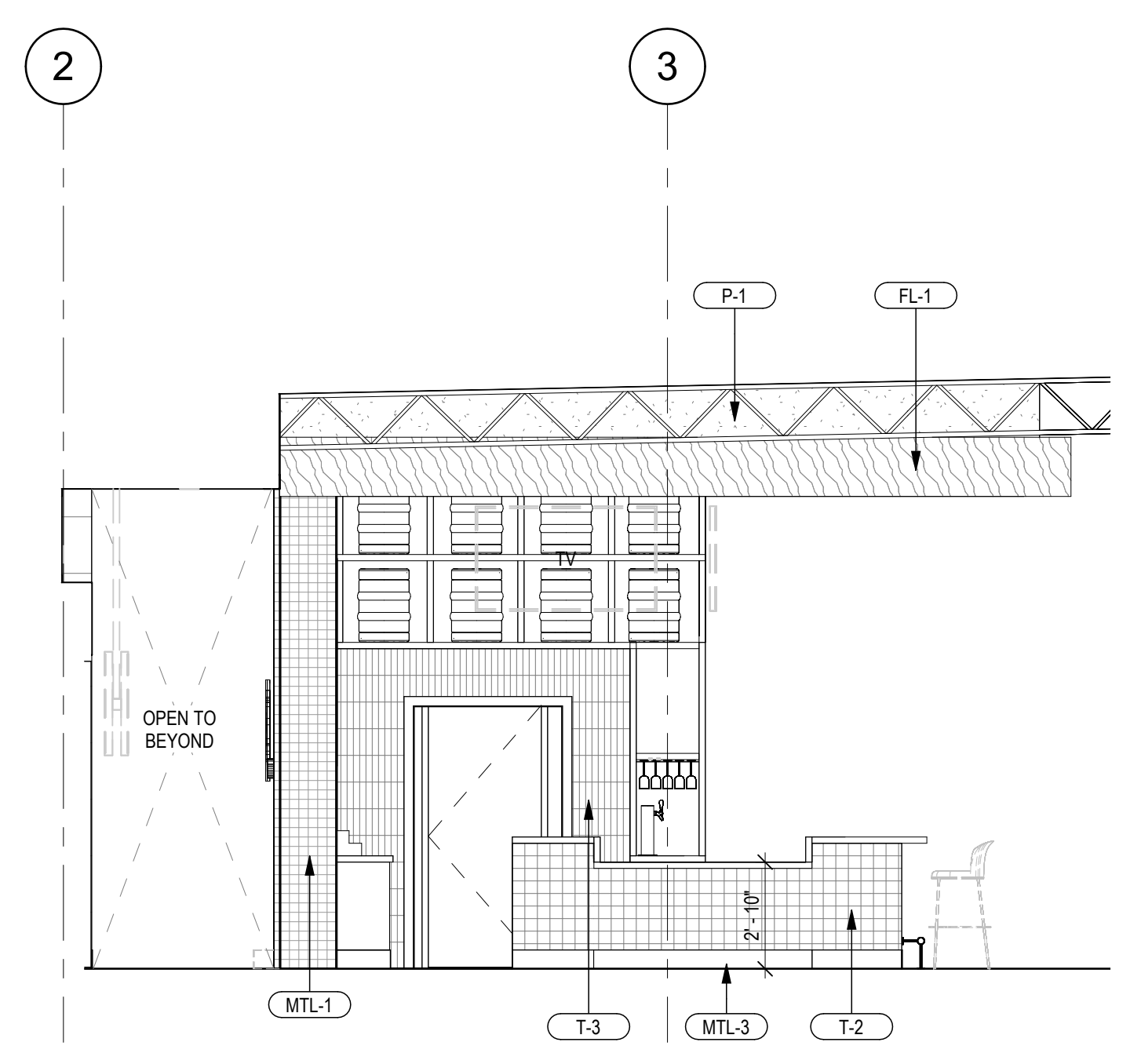
13 INTERIOR ELEVATION  
1/4" = 1'-0"



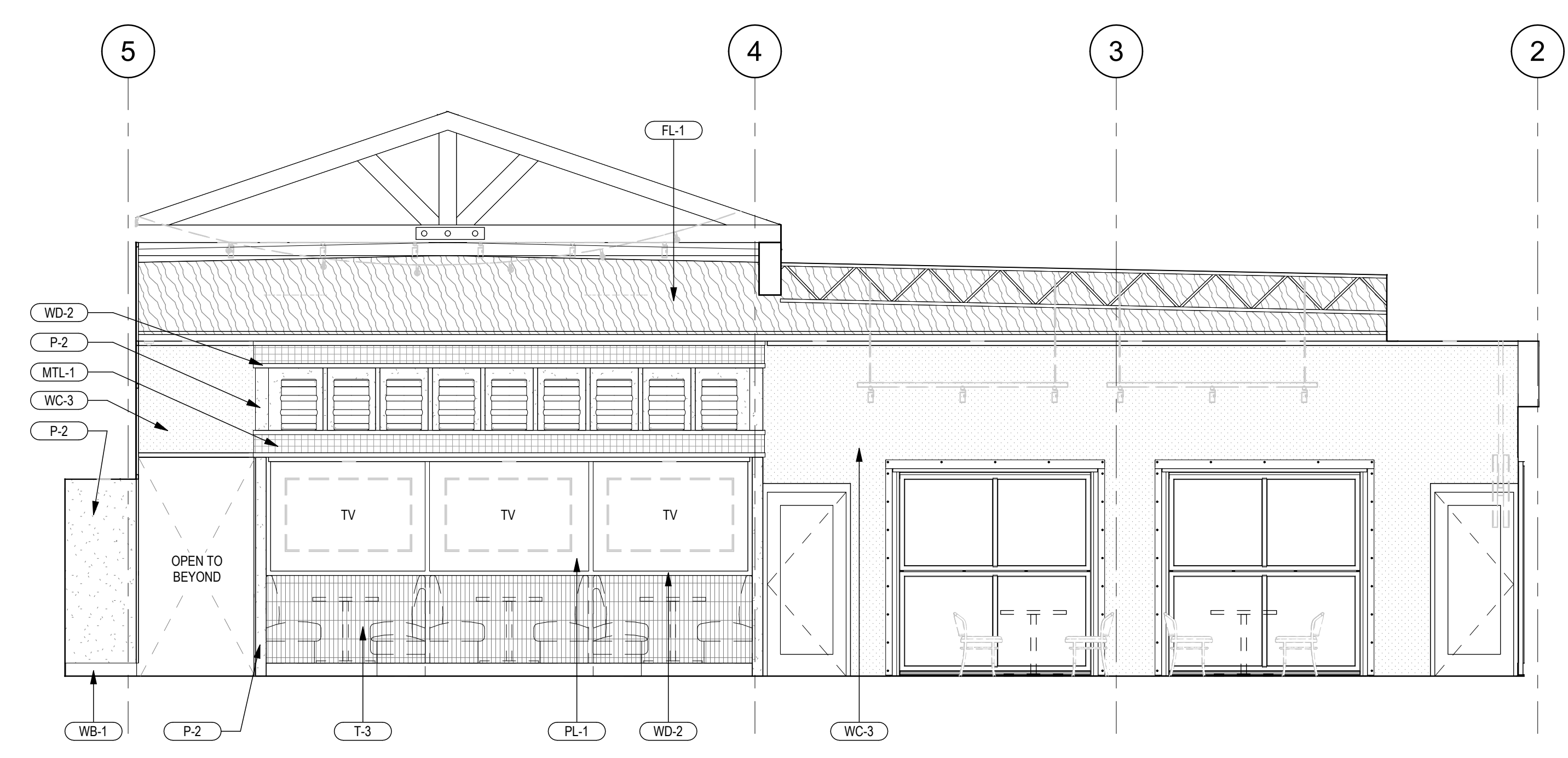
12 INTERIOR ELEVATION  
1/4" = 1'-0"



11 INTERIOR ELEVATION  
1/4" = 1'-0"



10 INTERIOR ELEVATION  
1/4" = 1'-0"



9 INTERIOR ELEVATION  
1/4" = 1'-0"

**FIELD VERIFICATION**  
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NO.	DATE	DESCRIPTION

NO. DATE DESCRIPTION  
REVISIONS

Drawing Title  
**INTERIOR ELEVATIONS**

Job No. 255934  
Drawn NCK

Scale 1/4" = 1'-0"  
Date 09/24/2025

Sheet No.  
**A10.2**



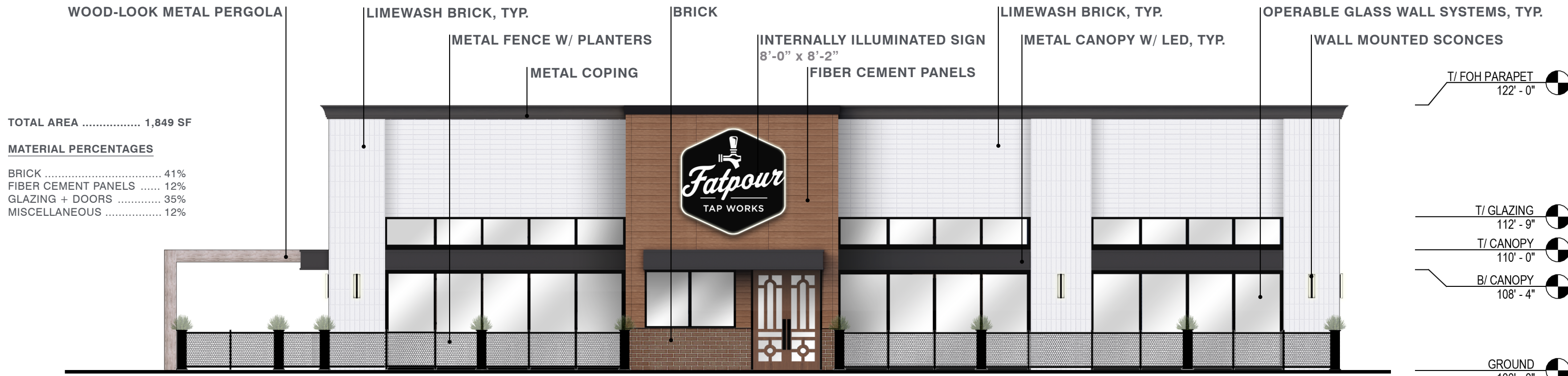


*Fatpou*  
**TAP WORKS**  
MOUNT PROSPECT, IL

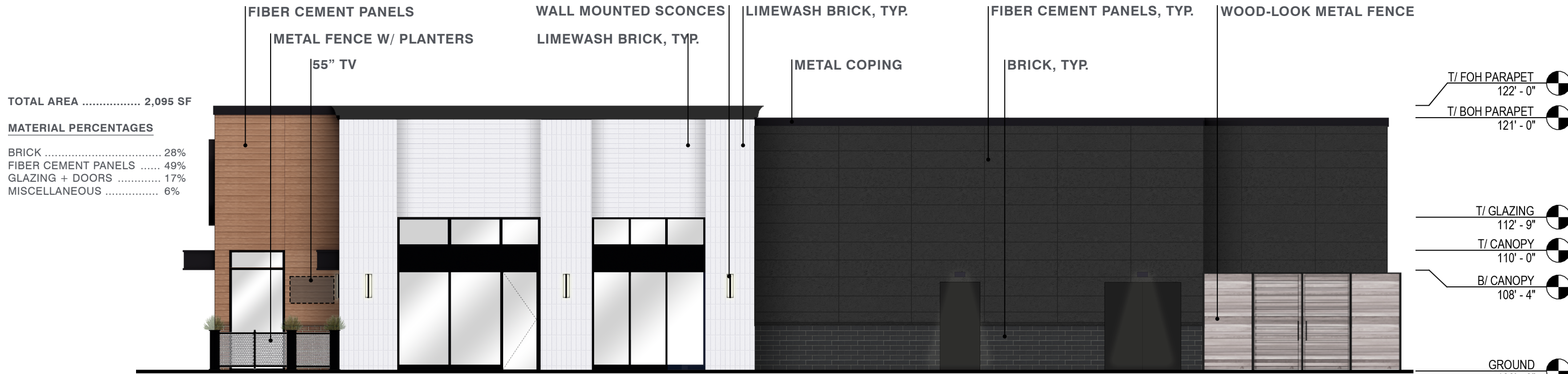
**ZONING REVIEW**

December 4th , 2025

ARIA GROUP ARCHITECTURE *+ design*



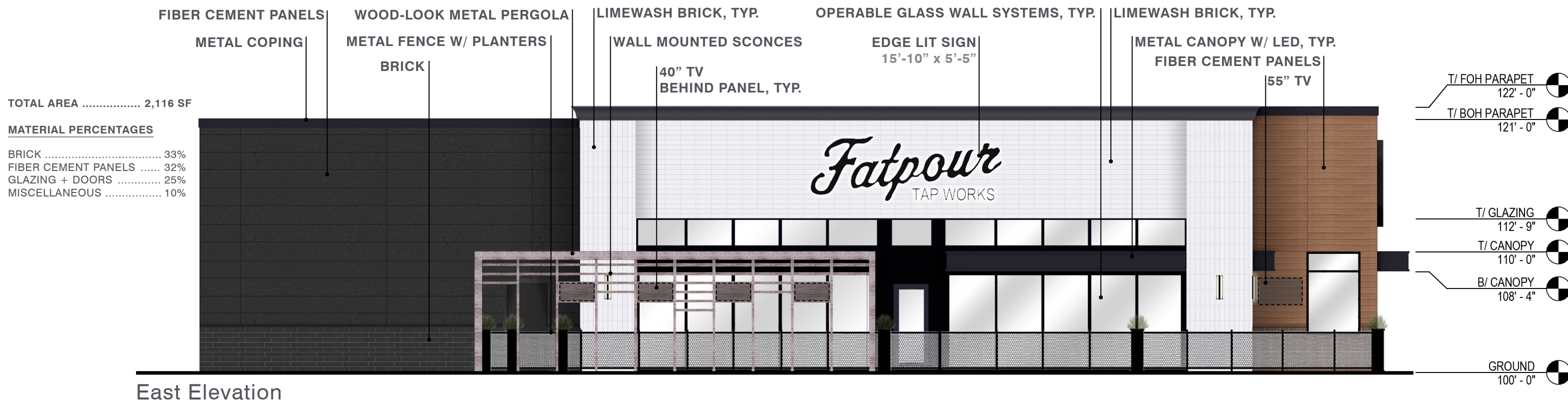
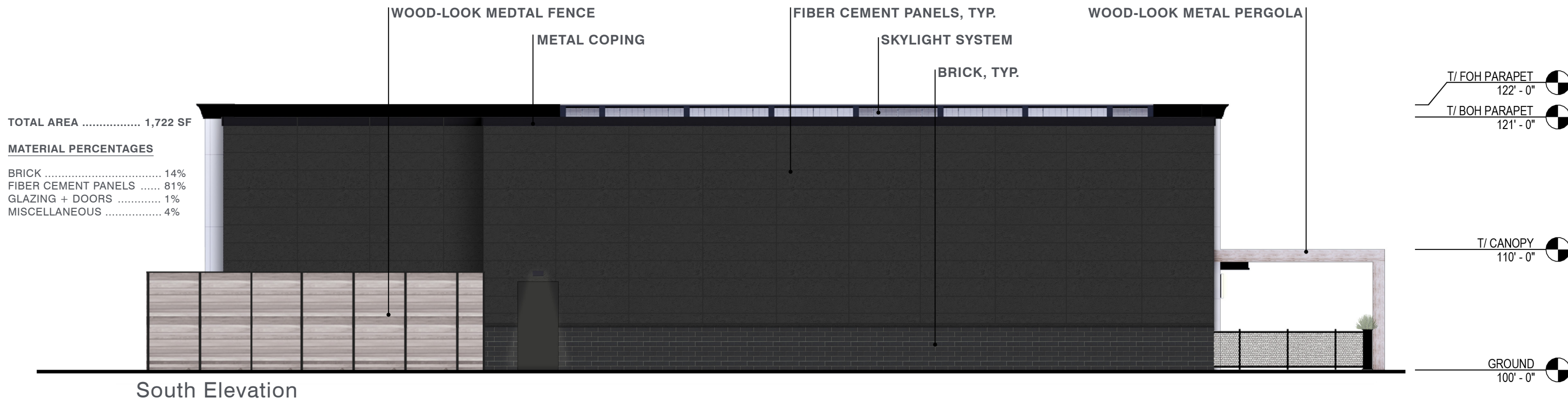
North Elevation



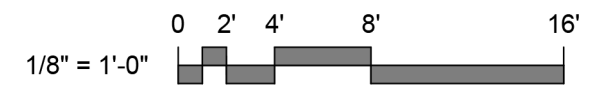
West Elevation

**EXTERIOR ELEVATIONS**



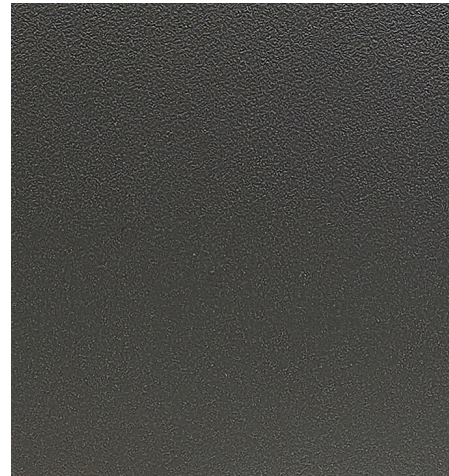


# EXTERIOR ELEVATIONS





FIBER CEMENT PANEL



FIBER CEMENT PANEL



BRICK



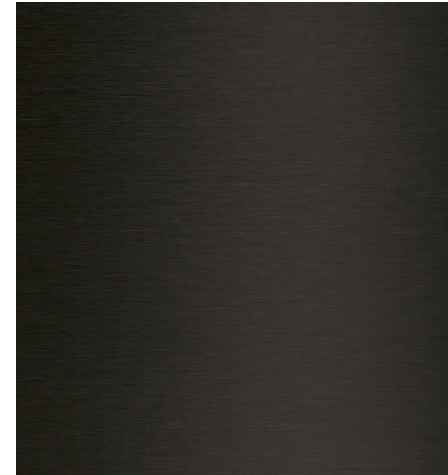
LIMEWASH BRICK



BRICK



WOOD-LOOK METAL



METAL

## MATERIAL SELECTIONS EXTERIOR



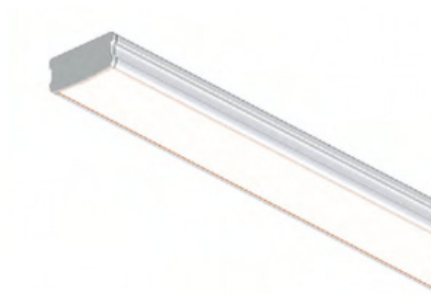
EXTERIOR FAN



EXTERIOR SCONCE



EXTERIOR STRING LIGHTS



EXTERIOR LED



EXTERIOR WALL PACK

# LIGHTING EXTERIOR

**THANK YOU**

ARIA GROUP ARCHITECTURE *+ design*



EAST ELEVATION

1/8" SCALE



3/8" SCALE

ALUMINUM FABRICATED REVERSE CHANNEL LETTERS  
PAINTED BLACK WITH HALO-LIT LED LIGHTING



13401 SOUTHWEST HWY.,  
ORLAND PARK, ILLINOIS

Since  
1925

708-448-0826 • vbsign.com

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Approved	Scale	NOTED	Title				WILD ONION HOSPITALITY			
	Date	12-18-25	Description				ILLUM. ALUMINUM LOGO			
	Drawn By	ED	Revisions By					Drawing No.	25-224.1C	
Date									Page 69 of 128	



NORTH ELEVATION

1/8" SCALE



3/8" SCALE

ALUMINUM FABRICATED REVERSE CHANNEL SHIELD SHAPE PAINTED BLACK AND STOOD-OFF FROM WALL WITH HALO-LIT LED PERIMETER LIGHTING ILLUMINATED 1" PUSH-THRU LETTERS AND GRAPHICS



13401 SOUTHWEST HWY,  
ORLAND PARK, ILLINOIS

Since  
1925

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Approved	
Date	

Scale	NOTED	Title	WILD ONION HOSPITALITY			
Date	12-18-25	Description	ILLUM. ALUMINUM LOGO			
Drawn By	ED	Revisions By				Drawing No.
		Date				25-224.2C



# SITE IMPROVEMENT PLANS

FOR

# FATPOUR TAP WORKS

200 S MAIN STREET

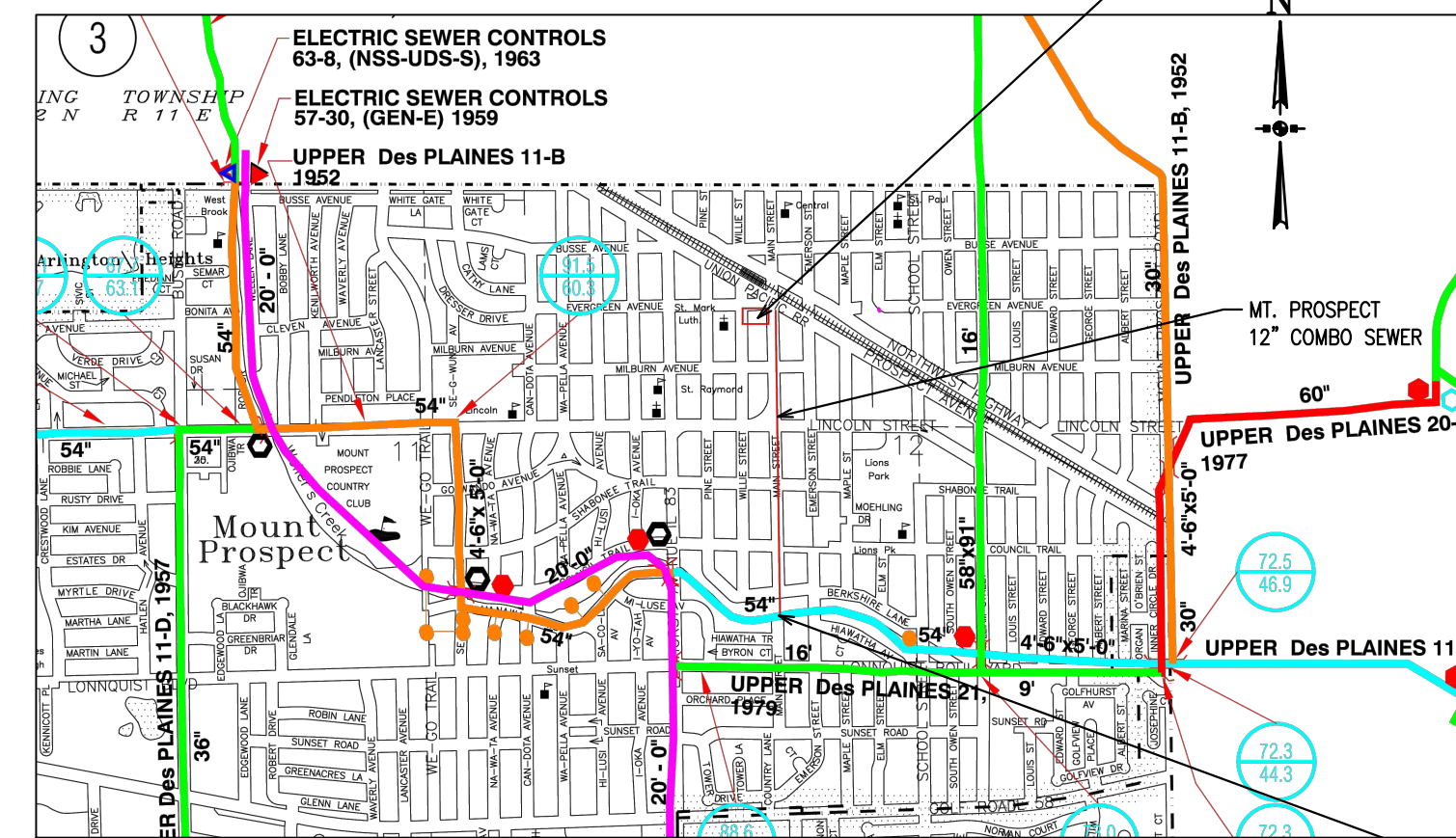
MOUNT PROSPECT, ILLINOIS

ARIA GROUP

**H710**  
**12/19/2025**  
**FATPOUR TAP WORKS**

## DRAWING INDEX

SHEET	TITLE
C1	COVER SHEET
C2	EXISTING CONDITIONS AND DEMOLITION PLAN
C3	DIMENSIONAL CONTROL AND PAVING PLAN
C4	GRADING PLAN
C5	UTILITY PLAN
C6	EROSION CONTROL PLAN
C7.0-7.2	DETAILS
C8	GENERAL NOTES AND SPECIFICATIONS
C9	MWRD GENERAL NOTES AND SPECIFICATIONS



LOCATION AND MWRD SEWER ROUTING MAP

1" = 2,000'

### SURVEY REFERENCE NOTE:

EXISTING CONDITIONS AND TOPOGRAPHY ARE SHOWN PER 'ALTA/NSPS LAND TITLE SURVEY,' DATED APRIL 15, 2024 AS PREPARED BY EDWARD J. MOLLOY & ASSOCIATES. TOPOGRAPHY OBTAINED FROM 'NEARMAP' ONLINE DATA SERVICES DATED MARCH 2025.

CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES OR OMISSIONS.

### CONTACTS

**CIVIL ENGINEER**  
 JACOB & HEFNER ASSOCIATES, INC  
 1333 BUTTERFIELD ROAD, SUITE 300  
 DOWNERS GROVE, IL 60515  
 CONTACT: RYAN J. BLOCKER, P.E.  
 RBLOCKER@JACOBANDHEFNER.COM  
 (630) 652-4630

**ARCHITECT**  
 ARIA GROUP  
 830 NORTH BLVD.  
 OAK PARK, IL 60301  
 CONTACT: DAMIAN SATOLA, RA  
 DSATOLA@ARIAINC.COM  
 (708) 445-8400

**OWNER**  
 ONION MAIN STREET ENTERPRISES, LLC  
 1307 N CLYBOURNE AVE, SUITE A  
 CHICAGO, IL 60619  
 CONTACT: ARTHUR HOLMER

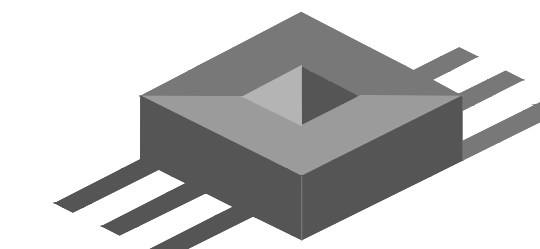
**SURVEYOR**  
 JACOB & HEFNER ASSOCIATES, INC  
 1333 BUTTERFIELD ROAD, SUITE 300  
 DOWNERS GROVE, IL 60515  
 CONTACT: TIM WOLFE, P.L.S.  
 TWOLFE@JACOBANDHEFNER.COM  
 (630) 652-4664

## LEGEND

PROPOSED	DESCRIPTION	EXISTING
	STORM SEWER	
	WATER MAIN (WITH SIZE)	
	SANITARY SEWER	
	FORCE MAIN	
	UNDERGROUND ELECTRIC	
	OVERHEAD ELECTRIC	
	UNDERGROUND TELEPHONE	
	UNDERGROUND GAS	
	CONTOUR	
	HIGH/NORMAL WATER LEVEL	
	SILT FENCE	
	RIGHT-OF-WAY	
	CURB	
	DEPRESSED CURB FOR RAMP/DRIVEWAY	
	REVERSE PITCH CURB	
	FENCE LINE	
	GUARD RAIL	
	SANITARY MANHOLE	
	STORM MANHOLE	
	STORM INLET	
	STORM CATCH BASIN	
	CLEAN OUT	
	FIRE HYDRANT	
	GATE VALVE AND VAULT	
	STREET LIGHT	
	STREET LIGHT WITH MAST	
	TRANSFORMER	
	UTILITY POLE	
	SIGN	
	DRAINAGE DIRECTION	
	OVERFLOW ROUTE	
	SPOT GRADE	
	FINISHED FLOOR	
	TOP OF FOUNDATION	
	GROUND	
	EDGE OF PAVEMENT	
	BACK/TOP OF CURB	
	TOP OF SIDEWALK	
	TOP OF RETAINING WALL	
	BOTTOM OF RETAINING WALL	
	RIM FOR STRUCTURES	
	RISER FOR SANITARY SERVICE	
	INVERT FOR SEWERS	



NO.	DESCRIPTION	DATE
1	PERMIT SET	12/19/25
REVISIONS		



**JACOB & HEFNER**  
 ASSOCIATES

1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515

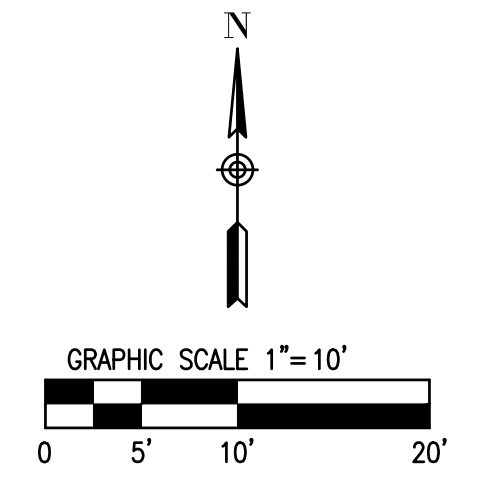
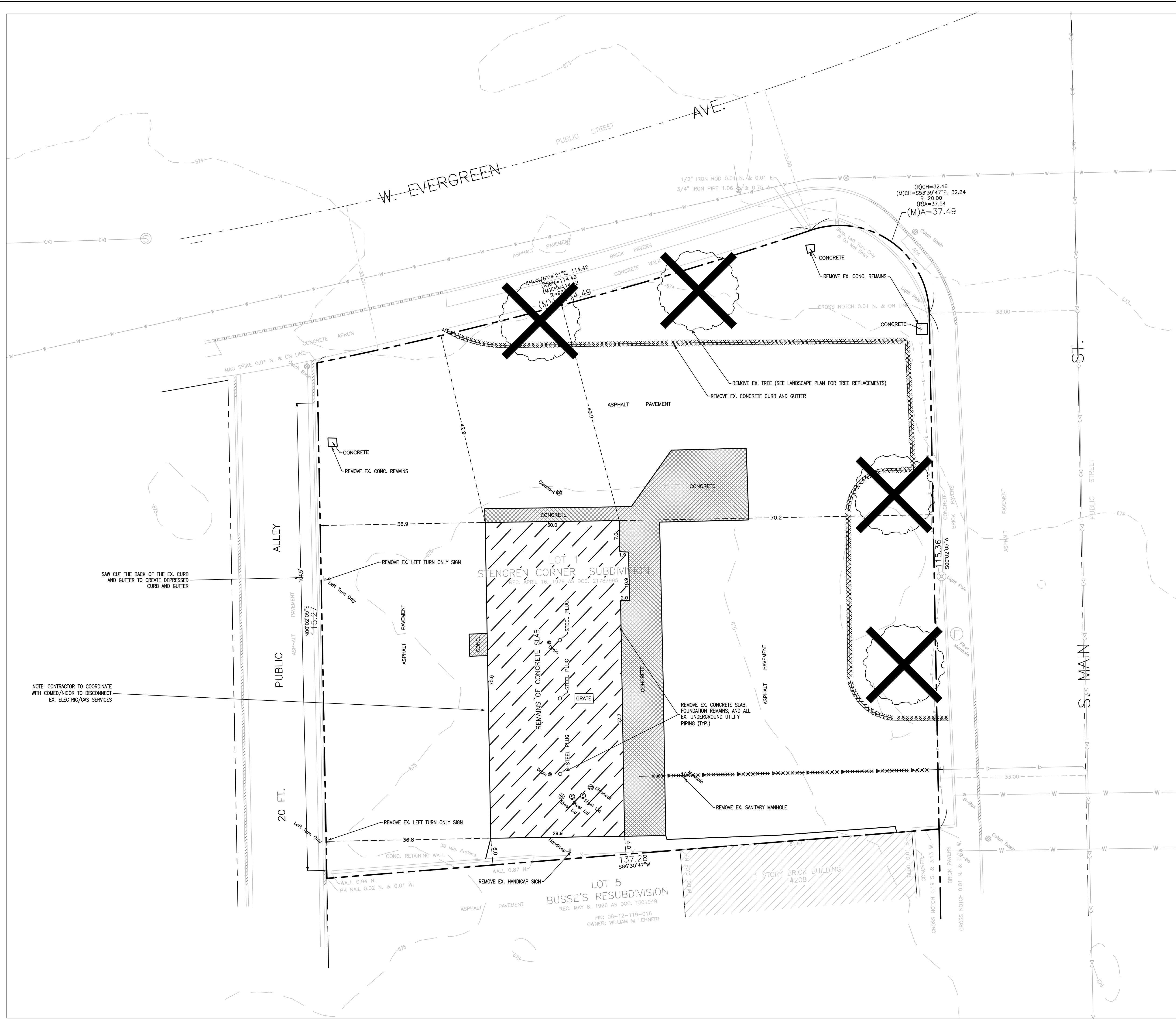
PHONE: (630) 652-4600, FAX: (630) 652-4601

www.jacobandhefner.com

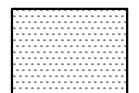

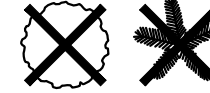
ENGINEER  
 JASON A. CEBULSKI  
 JCEBULSKI@JHANC.COM  
 ILLINOIS REGISTRATION NO. 062-069783  
 EXPIRES 11/19/2027  
 ENGINEER ONLY CERTIFIES SHEETS: C1-C9  
 THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE ORIGINAL SIGNATURE, IMPRESSED SEAL, EXPIRATION DATE OF SEAL OF THE ENGINEER AND MARKED "FOR CONSTRUCTION"

Municipality: MOUNT PROSPECT  
 County: COOK  
 Section: 35  
 Township: 42N  
 Range: 11E

**FOR REVIEW PURPOSES ONLY**



**DEMOLITION HATCH LEGEND**

-  EXISTING ASPHALT PAVEMENT TO BE REMOVED
-  EXISTING CONCRETE PAVEMENT TO BE REMOVED
-  EXISTING TREE TO BE REMOVED

**DEMOLITION NOTES:**

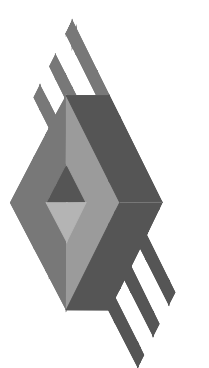
1. CONTRACTOR SHALL CONTACT J.U.L.I.E (1-800-832-0123 OR 811) AND/OR PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
2. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
3. CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WORK WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND CONTINUOUSLY MAINTAINED THROUGHOUT ALL CONSTRUCTION UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED (SEE EROSION CONTROL AND STORMWATER POLLUTION PREVENTION PLANS FOR ADDITIONAL INFORMATION AND DETAILS).
5. THE PURPOSE OF THIS DRAWING IS TO CONVEY THE OVERALL SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO COVER ALL DETAILS OR SPECIFICATIONS REQUIRED TO COMPLY WITH GENERALLY ACCEPTED DEMOLITION PRACTICES. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE, SCOPE OF WORK, AND ALL EXISTING CONDITIONS AT THE JOB SITE PRIOR TO BIDDING AND COMMENCING THE WORK. THE DEMOLITION CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, OR PROCEDURES USED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND IS LIABLE FOR THE SAFETY OF THE PUBLIC AND CONTRACTOR'S EMPLOYEES DURING THE COURSE OF THE PROJECT.
6. THE DEMOLITION PLAN IS INTENDED TO SHOW REMOVAL OF KNOWN SITE FEATURES AND UTILITIES AS SHOWN ON THE SURVEY PROVIDED TO THE ENGINEER FOR DESIGN. THERE MAY BE OTHER SITE FEATURES, UTILITIES, STRUCTURES, AND MISCELLANEOUS ITEMS BOTH BURIED AND ABOVE GROUND THAT ARE WITHIN THE LIMITS OF WORK THAT MAY REQUIRE REMOVAL FOR THE PROPOSED SITE IMPROVEMENTS BUT THAT ARE NOT SHOWN HEREON. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF SUCH ITEMS.
7. CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES PRIOR TO COMMENCING ANY SITE DEMOLITION OPERATIONS TO COORDINATE ANY DISCONNECTION OR REMOVAL OF EXISTING UTILITIES WITHIN THE PROPOSED AREA OF WORK.
8. CONTRACTOR SHALL COORDINATE ANY SHUT DOWNS OF EXISTING ROADWAYS AND UTILITIES WITH THE NECESSARY GOVERNING AUTHORITIES.
9. ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, WHEEL STOPS AND MISCELLANEOUS DEBRIS) NOTED TO BE REMOVED SHALL BE DEMOLISHED, REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
10. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDINGS, PAVEMENTS, OR WALKS OR WITHIN 24" THEREOF SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT.
11. AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED, FINAL GRADE OF BACKFILL IN DEMOLITION AREAS SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT TO PRESENT A NEAT, WELL DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL PROVIDE TEMPORARY DIVERSION SWALES OR OTHER MEANS OF MAINTAINING ADEQUATE SITE DRAINAGE.
12. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE ALL TREE REMOVALS WITH THE PROJECT LANDSCAPE PLANS.
13. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
14. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
15. ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
16. SEE GENERAL NOTES AND SPECIFICATIONS SHEETS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

**EXISTING CONDITIONS AND DEMOLITION PLAN**

FATPOUR TAP WORKS  
ARIA GROUP

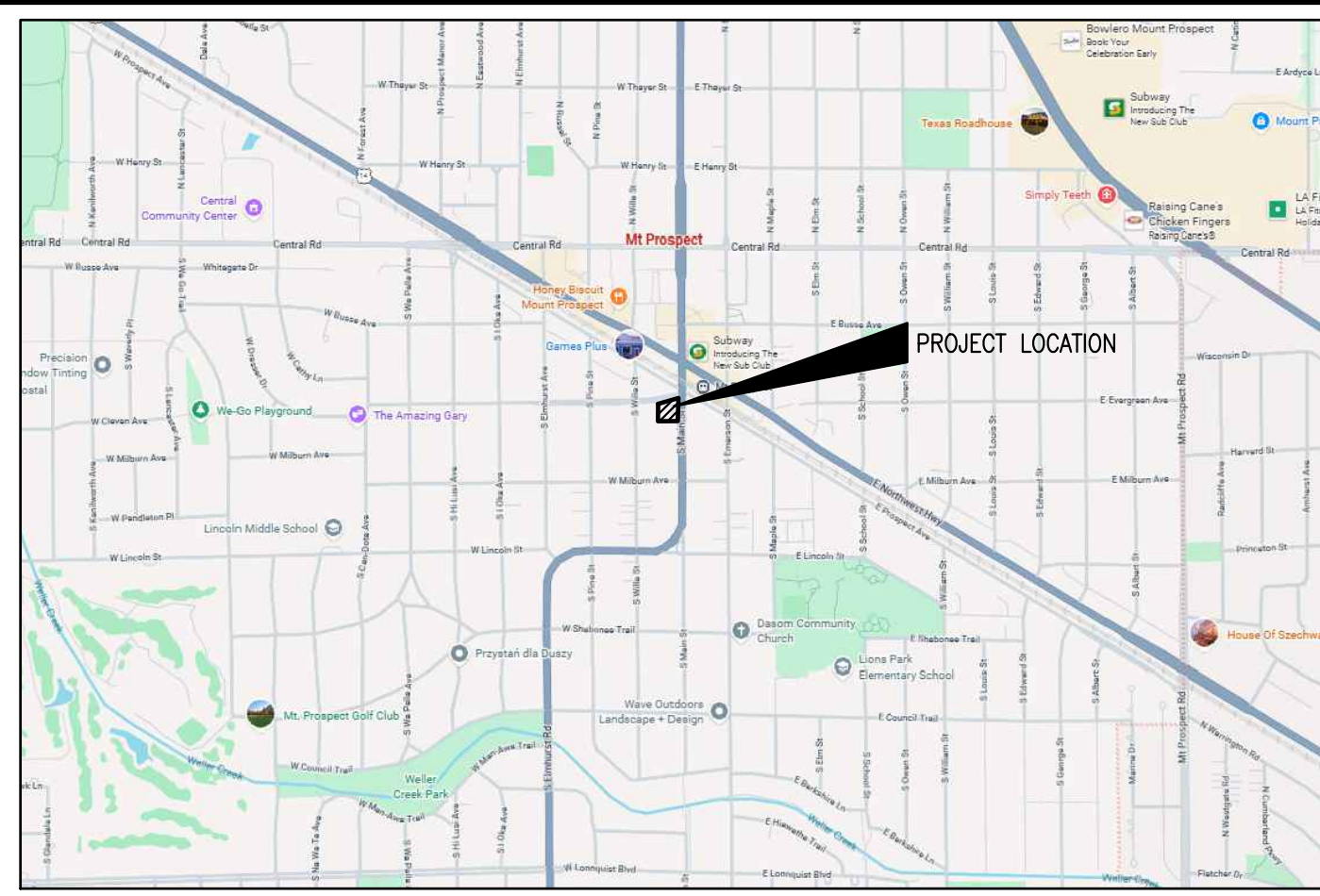
MOUNT PROSPECT, ILLINOIS

**JACOB & HEFNER ASSOCIATES**  
1335 Butterfield Rd, Suite 300, Downers Grove, IL 60515  
PHONE: (630) 652-4600, FAX: (630) 652-4601  
www.jacobandhefner.com

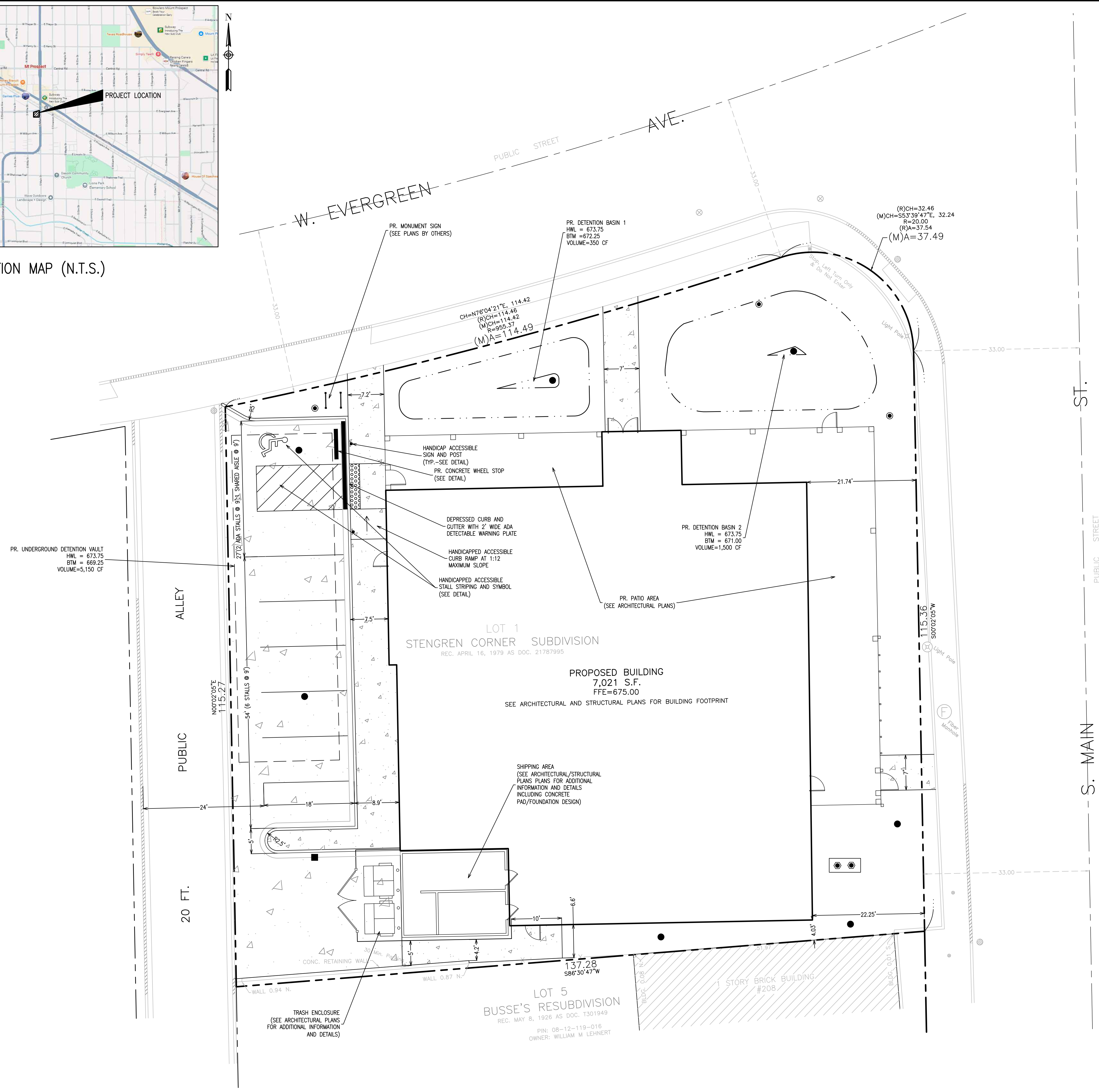
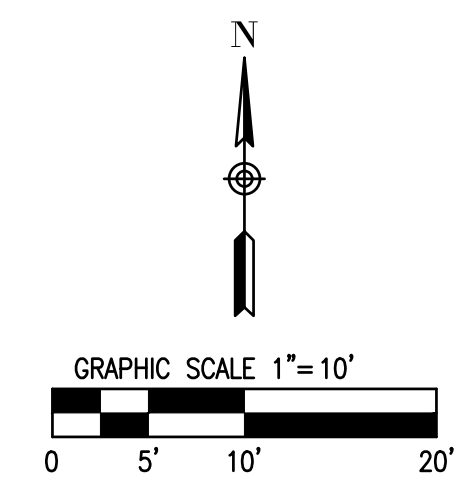


H710  
1" = 10'  
C2

No.	Description	Date
1	PERMIT SET	12/19/25



LOCATION MAP (N.T.S.)



**PAVEMENT HATCH LEGEND:**

- CONCRETE PAVEMENT
- CONCRETE SIDEWALK

**CURB LEGEND:**

- B6.12 CURB AND GUTTER
- REVERSE PITCH B6.12 CURB AND GUTTER
- DEPRESSED CURB AND GUTTER

**SITE DATA TABLE:**

PROPERTY AREA:	17,271 S.F. (0.40 AC)
PERVIOUS AREA:	3,997 S.F. (0.09 AC) - 23%
IMPERVIOUS AREA:	13,274 S.F. (0.31 AC) - 77%
EXISTING ZONING:	B5
PROPOSED ZONING:	PUD
PROPOSED BUILDING SETBACKS:	
FRONT:	20 FEET
SIDE:	4 FEET
REAR:	20 FEET
BUILDING AREA:	7,021 SQ. FT.
F.A.R.:	0.41
BUILDING HEIGHT:	22 FEET
TOTAL CAR PARKING:	8 STALLS
STANDARD PARKING:	7 STALLS
HANDICAP ACCESSIBLE PARKING:	1 STALLS

**CONTACTS**

**CIVIL ENGINEER**  
JACOB & HEFNER ASSOCIATES, INC  
1333 BUTTERFIELD ROAD, SUITE 300  
DOWNERS GROVE, IL 60515  
CONTACT: JASON A CEBULSKI, P.E.  
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**ARCHITECT**  
ARIA GROUP  
830 NORTH BLVD.  
OAK PARK, IL 60301  
CONTACT: DAMIAN SATOLA, RA  
DSATOLA@ARIAINC.COM  
(708) 445-8400

**OWNER**  
UNION MAIN STREET ENTERPRISES, LLC  
1307 N CLYBOURNE AVE, SUITE A  
CHICAGO, IL 60619  
CONTACT: ARTHUR HOLMER

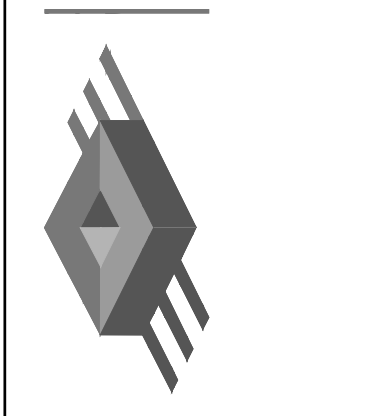
**LEGAL DESCRIPTION :**

LOT 1 IN STENGREN CORNER SUBDIVISION OF LOTS 1, 2, 3, AND 4 IN BUSSE'S RESUBDIVISION OF LOTS 1 TO 6 INCLUSIVE IN BLOCK 4, ALSO LOTS 2 AND 3 IN BLOCK 5, ALL OF BLOCK 6, AND LOTS 13 TO 24 INCLUSIVE IN BLOCK 7, LOTS 17 TO 210 INCLUSIVE IN BLOCK 8, ALL IN MEIER'S ADDITION TO MOUNT PROSPECT, BEING A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED IN THE OFFICE OF THE REGISTRAR OF TITLES ON APRIL 16, 1979 AS DOCUMENT LR3086126, IN COOK COUNTY, ILLINOIS.

No.	ORIGINAL EXHIBIT DATE	Description	Date
1	12/19/25		

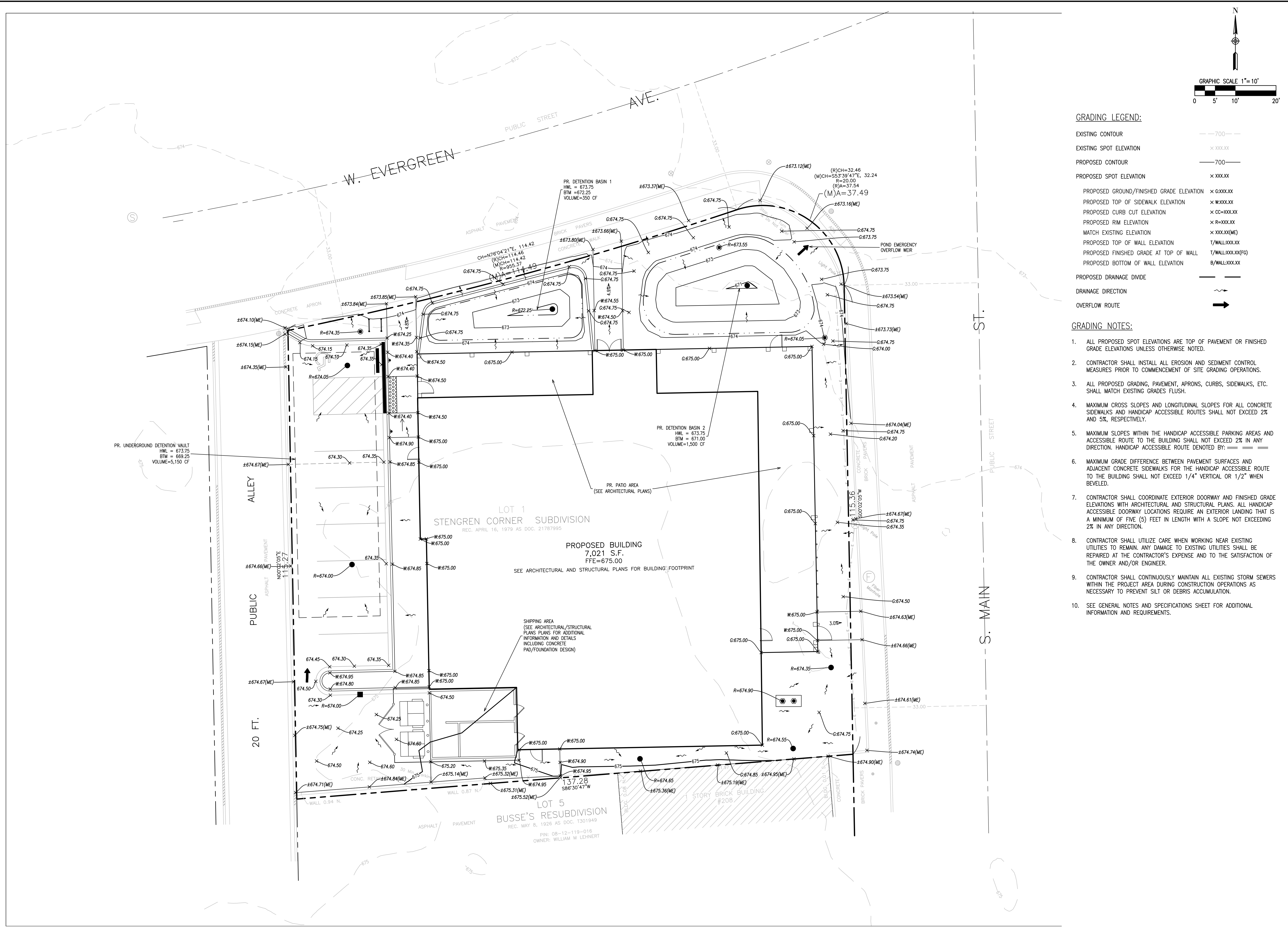
**SITE PLAN**  
FATPOUR TA PWORKS  
ARIA GROUP  
MT. PROSPECT, IL

**JACOB & HEFNER ASSOCIATES**  
1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515  
PHONE: (630) 652-4600, FAX: (630) 652-4601  
www.jacobandhefner.com



**LEGAL DESCRIPTION :**  
LOT 1 IN STENGREN CORNER SUBDIVISION OF LOTS 1, 2, 3, AND 4 IN BUSSE'S RESUBDIVISION OF LOTS 1 TO 6 INCLUSIVE IN BLOCK 4, ALSO LOTS 2 AND 3 IN BLOCK 5, ALL OF BLOCK 6, AND LOTS 13 TO 24 INCLUSIVE IN BLOCK 7, LOTS 17 TO 210 INCLUSIVE IN BLOCK 8, ALL IN MEIER'S ADDITION TO MOUNT PROSPECT, BEING A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED IN THE OFFICE OF THE REGISTRAR OF TITLES ON APRIL 16, 1979 AS DOCUMENT LR3086126, IN COOK COUNTY, ILLINOIS.

1" = 10'  
H710  
SP-1

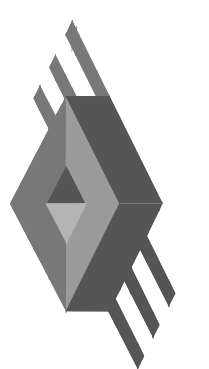


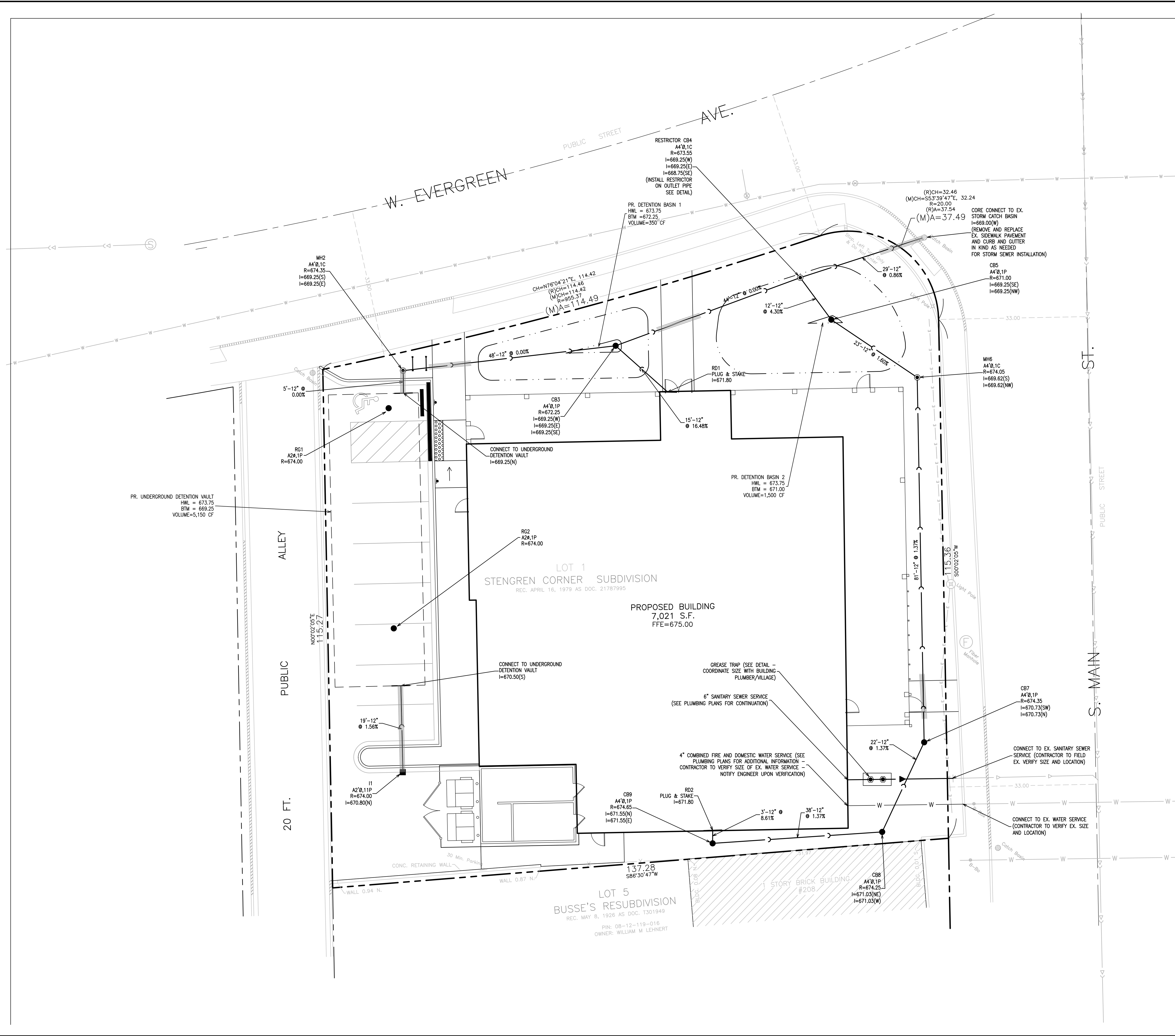
**GRADING LEGEND:**

- EXISTING CONTOUR ——— 700 ———
- EXISTING SPOT ELEVATION × XXX.XX
- PROPOSED CONTOUR ——— 700 ———
- PROPOSED SPOT ELEVATION × XXX.XX
- PROPOSED GROUND/FINISHED GRADE ELEVATION × GXXX.XX
- PROPOSED TOP OF SIDEWALK ELEVATION × WXXX.XX
- PROPOSED CURB CUT ELEVATION × CC=XXX.XX
- PROPOSED RIM ELEVATION × R=XXX.XX
- MATCH EXISTING ELEVATION × XXX.XX(ME)
- PROPOSED TOP OF WALL ELEVATION T/WALL=XXX.XX
- PROPOSED FINISHED GRADE AT TOP OF WALL T/WALL=XXX.XX(FG)
- PROPOSED BOTTOM OF WALL ELEVATION B/WALL=XXX.XX
- PROPOSED DRAINAGE DIVIDE ———
- DRAINAGE DIRECTION ———
- OVERFLOW ROUTE ———

**GRADING NOTES:**

1. ALL PROPOSED SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE ELEVATIONS UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
3. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, SIDEWALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
4. MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
5. MAXIMUM SLOPES WITHIN THE HANDICAP ACCESSIBLE PARKING AREAS AND ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 2% IN ANY DIRECTION. HANDICAP ACCESSIBLE ROUTE DENOTED BY: ———
6. MAXIMUM GRADE DIFFERENCE BETWEEN PAVEMENT SURFACES AND ADJACENT CONCRETE SIDEWALKS FOR THE HANDICAP ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED.
7. CONTRACTOR SHALL COORDINATE EXTERIOR DOORWAY AND FINISHED GRADE ELEVATIONS WITH ARCHITECTURAL AND STRUCTURAL PLANS. ALL HANDICAP ACCESSIBLE DOORWAY LOCATIONS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF FIVE (5) FEET IN LENGTH WITH A SLOPE NOT EXCEEDING 2% IN ANY DIRECTION.
8. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
9. CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING STORM SEWERS WITHIN THE PROJECT AREA DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
10. SEE GENERAL NOTES AND SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

GRADING PLAN		No.	Date
FATPOUR TAP WORKS		1	12/19/25
ARIA GROUP		PERMIT SET	Description
MOUNT PROSPECT, ILLINOIS			
<b>JACOB &amp; HEFNER ASSOCIATES</b> 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com			
			
H710			
1" = 10'			
C4			



**UTILITY NOTES:**

1. ALL UTILITY LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURES IN LINEAR FEET.
2. ALL EXISTING UTILITY RIMS, GRADE RINGS, PEDESTALS, ETC. SHALL BE RAISED OR LOWERED AS REQUIRED TO MEET PROPOSED FINISHED GRADE.
3. ALL PROPOSED CONNECTIONS TO EXISTING UTILITY STRUCTURES OR PIPING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE GOVERNING AUTHORITY REQUIREMENTS AND SPECIFICATIONS.
4. GRANULAR TRENCH BACKFILL MATERIAL, IDOT GRADATION CA-7, SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY, PER ASTM D1557, OVER ALL UTILITIES WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS, SIDEWALKS, ETC. GRANULAR TRENCH BACKFILL NOTED ON THE PLANS BY: .....
5. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
6. CONTRACTOR SHALL UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
7. CONTRACTOR SHALL EXCAVATE AND FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO COMMENCING ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
8. CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING SEWER SYSTEMS DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
9. SEE GENERAL NOTES AND SPECIFICATIONS SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS INCLUDING ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.

**STORM SEWER NOTES:**

STORM SEWER STRUCTURE SYMBOL LEGEND:

- I = INLET
- CB = CATCH BASIN
- MH = MANHOLE
- FES = FLARED END SECTION
- RD = ROOF DRAIN
- CO = CLEAN OUT

STORM SEWER FRAME AND GRATE/LID SYMBOL LEGEND:

- 1C: IDOT TYPE 1 (CLOSED), NEENAH R-1713, EJIW 1022Z3
- 1P: IDOT TYPE 1 (OPEN), NEENAH R-2504-D, EJIW 1050Z1 (M3 GRATE)
- 11P: IDOT TYPE 11, NEENAH R3281-A, EJIW 7210

EXAMPLE:

- MH3
- A4@1P
- MANHOLE #3, TYPE A, 4' DIAMETER, IDOT TYPE 1 FRAME AND GRATE (OPEN)

1. ALL STORM SEWER PIPE SHALL BE HDPE ADS N-12 OR APPROVED EQUAL, UNLESS OTHERWISE NOTED
2. ALL STORM SEWER UNDERDRAIN PIPE SHALL BE PERFORATED ADS N-12 OR APPROVED EQUAL UNLESS OTHERWISE NOTED
3. ALL STORM SEWER CASTINGS SHALL BE EMBOSSED WITH A FISH IMAGE AND "DUMP NO WASTE - DRAINS TO WATERWAYS"

**SANITARY SEWER NOTES**

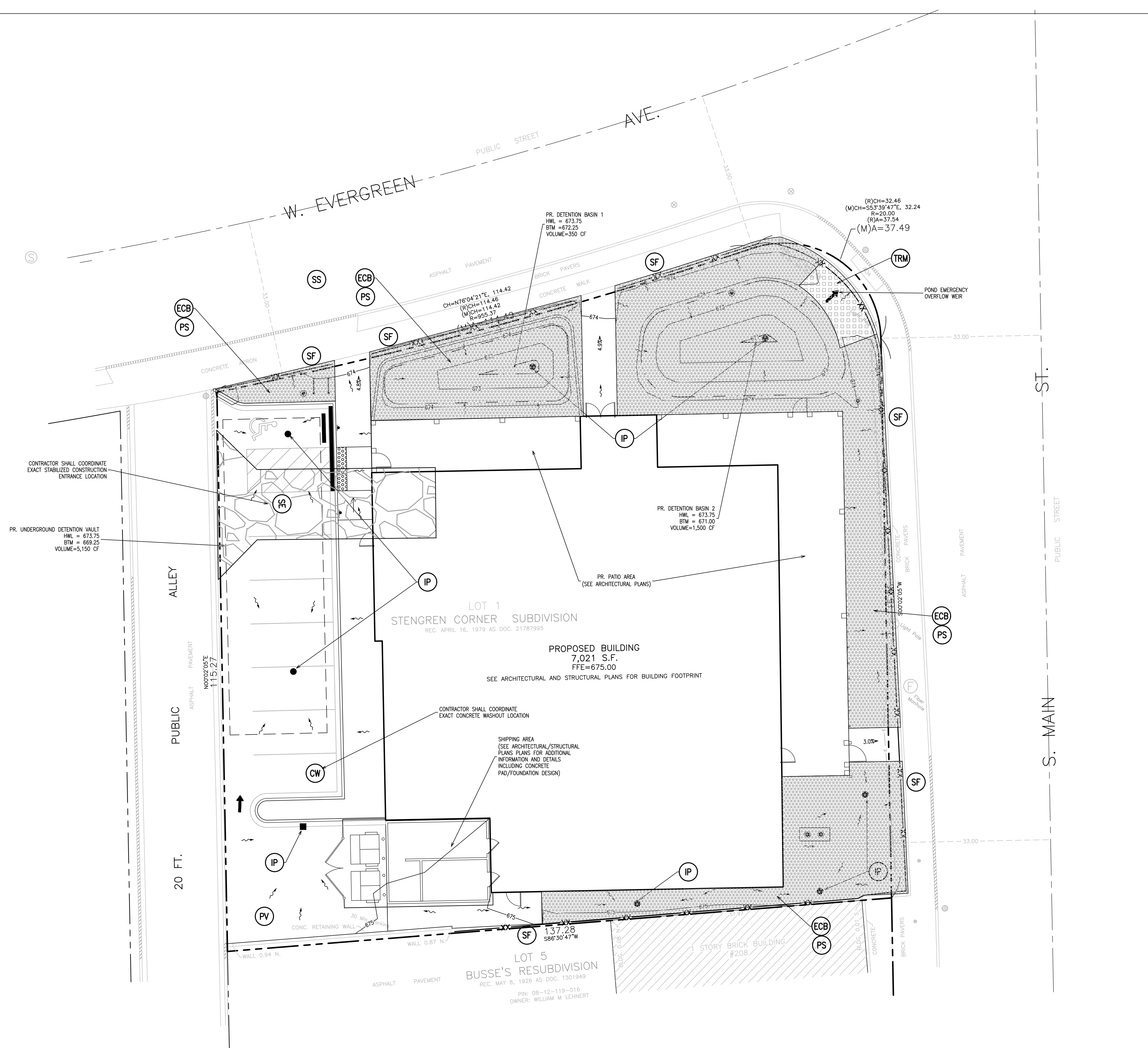
SANITARY STRUCTURE SYMBOL LEGEND:

- S = SANITARY MANHOLE

ALL SANITARY MANHOLES SHALL HAVE THE FOLLOWING FRAME AND LID:

- 1C: IDOT TYPE 1 (CLOSED), NEENAH R-1713, EJIW 1050Z1
1. ALL SANITARY SEWER SHALL BE PVC SDR 26 UNLESS OTHERWISE NOTED ON THE PLANS.

UTILITY PLAN		12/19/25	
FATPOUR TAP WORKS		Description	
ARIA GROUP		1 PERMIT SET	
MOUNT PROSPECT, ILLINOIS		No.	
<p><b>JACOB &amp; HEFNER ASSOCIATES</b>                  1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515                  PHONE: (630) 652-4600, FAX: (630) 652-4601                  www.jacobandhefner.com</p>		Date	
<p><b>H710</b></p> <p><b>1" = 10'</b></p> <p><b>C5</b></p>		Page 75 of 128	



**SWPPP CONSTRUCTION SCHEDULE:**

- OBTAIN ALL APPLICABLE SITE PERMITS AND THOROUGHLY REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND EROSION CONTROL PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWPPP THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
- INSTALL PERIMETER SEDIMENT CONTROL MEASURES (I.E. SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE).
- INSTALL INLET PROTECTION DEVICES FOR EXISTING STORM SEWER INLETS AND DRAINAGE STRUCTURES.
- PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIST THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
  - ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
  - CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.
  - COPIES OF THE WEEKLY INSPECTION REPORT SHALL BE SUBMITTED TO THE PUBLIC WORKS SUPERINTENDENT AND THE VILLAGE ENGINEER.
- BEGIN SITE CLEARING AND GRADING OPERATIONS.
- PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN SEVEN (7) DAYS.
- INSTALL NEW STORM SEWERS AND OTHER SITE UTILITIES AS INDICATED ON THE PLANS.
- INSTALL TEMPORARY CONCRETE WASHOUT PRIOR TO COMMENCEMENT OF ANY CONCRETE WORK ON SITE.
- BEGIN SITE PAVING OPERATIONS (I.E. DRIVES, PARKING LOTS, ETC.)
- PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED FOR AREAS ADJACENT TO THE PROJECT SITE.
- INSTALL BUILDING FOUNDATIONS AND COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS INDICATED ON THE PLANS.
- PERFORM FINAL GRADING OPERATIONS AND ESTABLISH PERMANENT VEGETATIVE COVER IN ALL LANDSCAPED AREAS.
- REMOVE ALL TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.

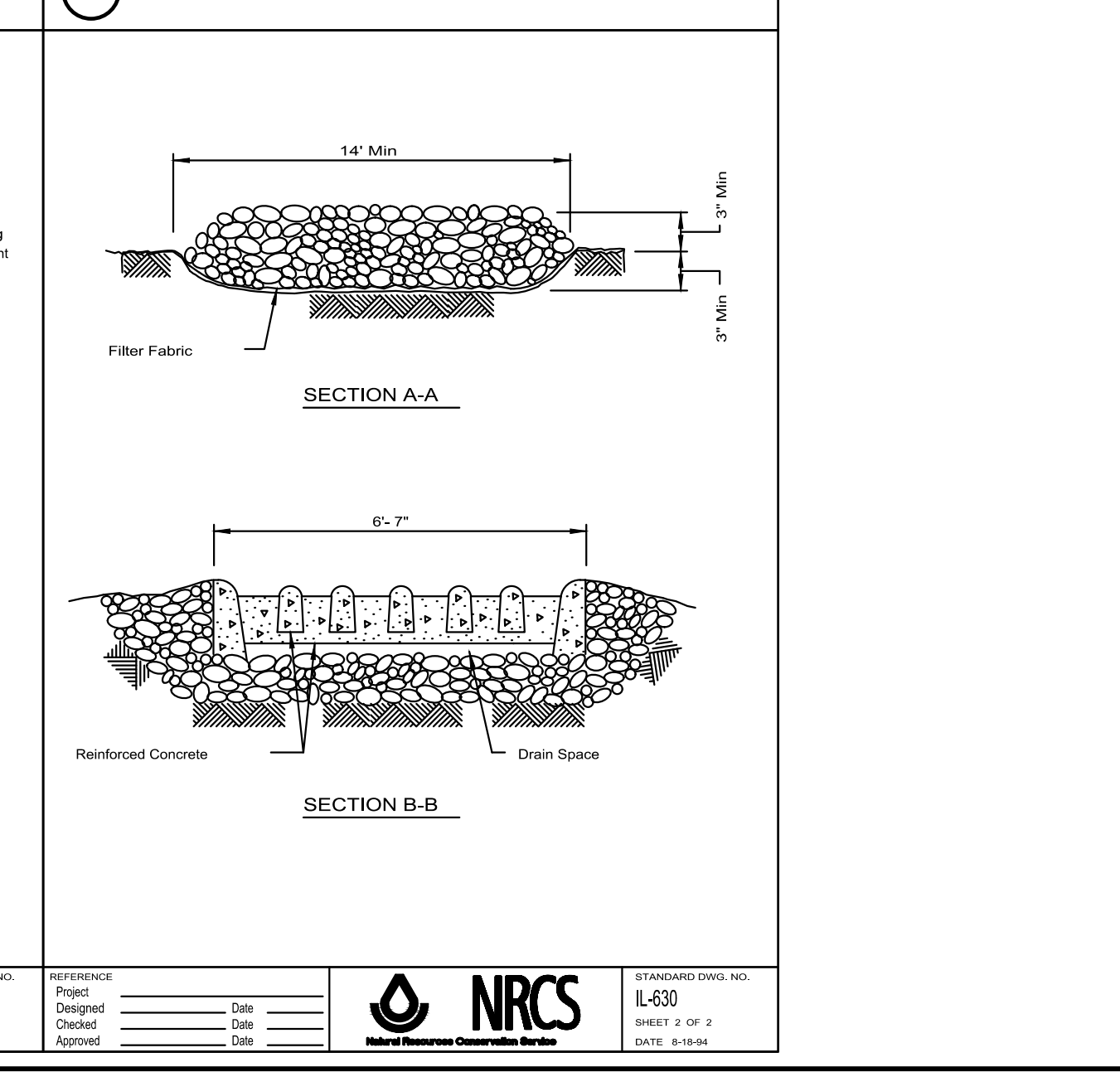
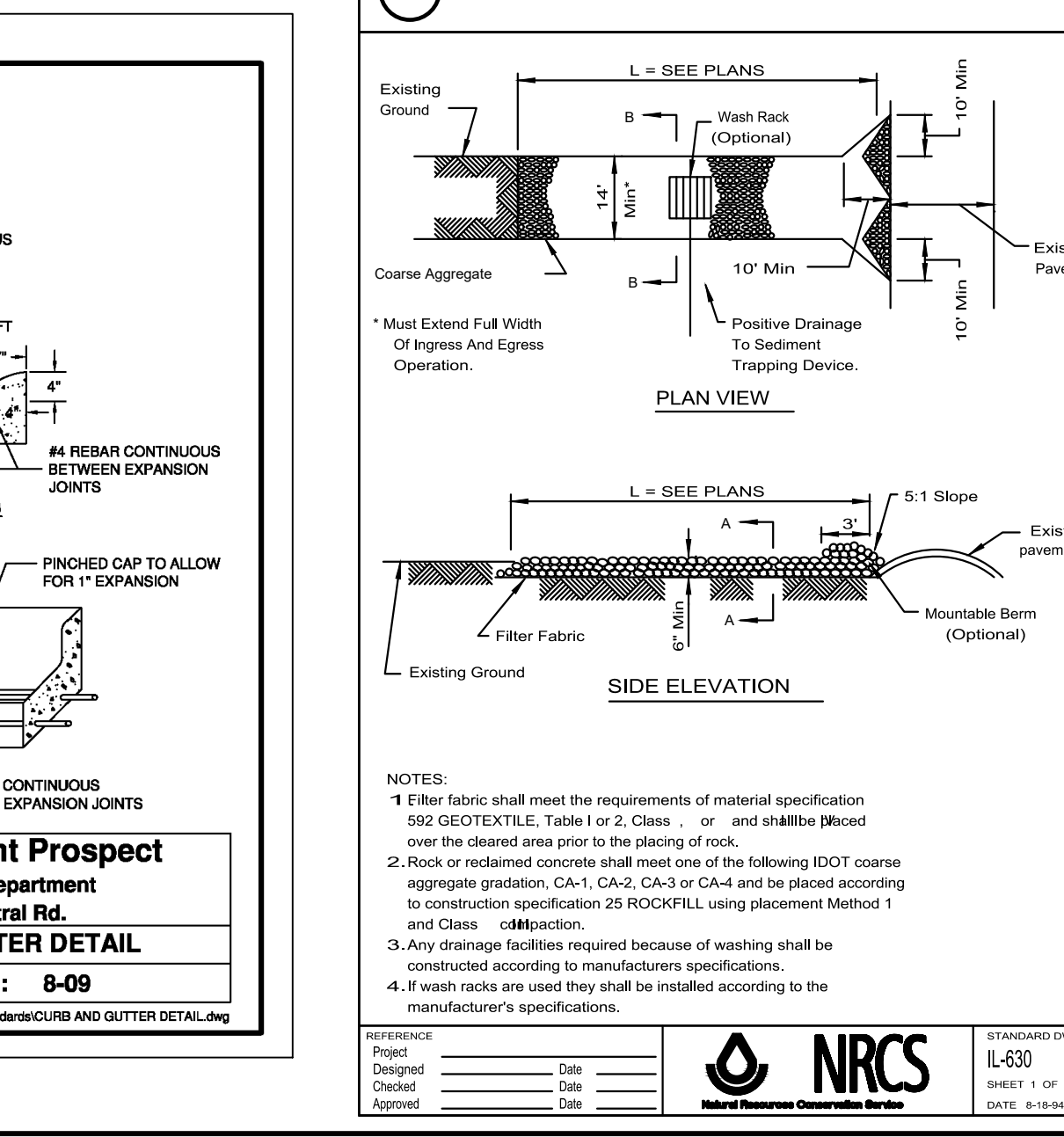
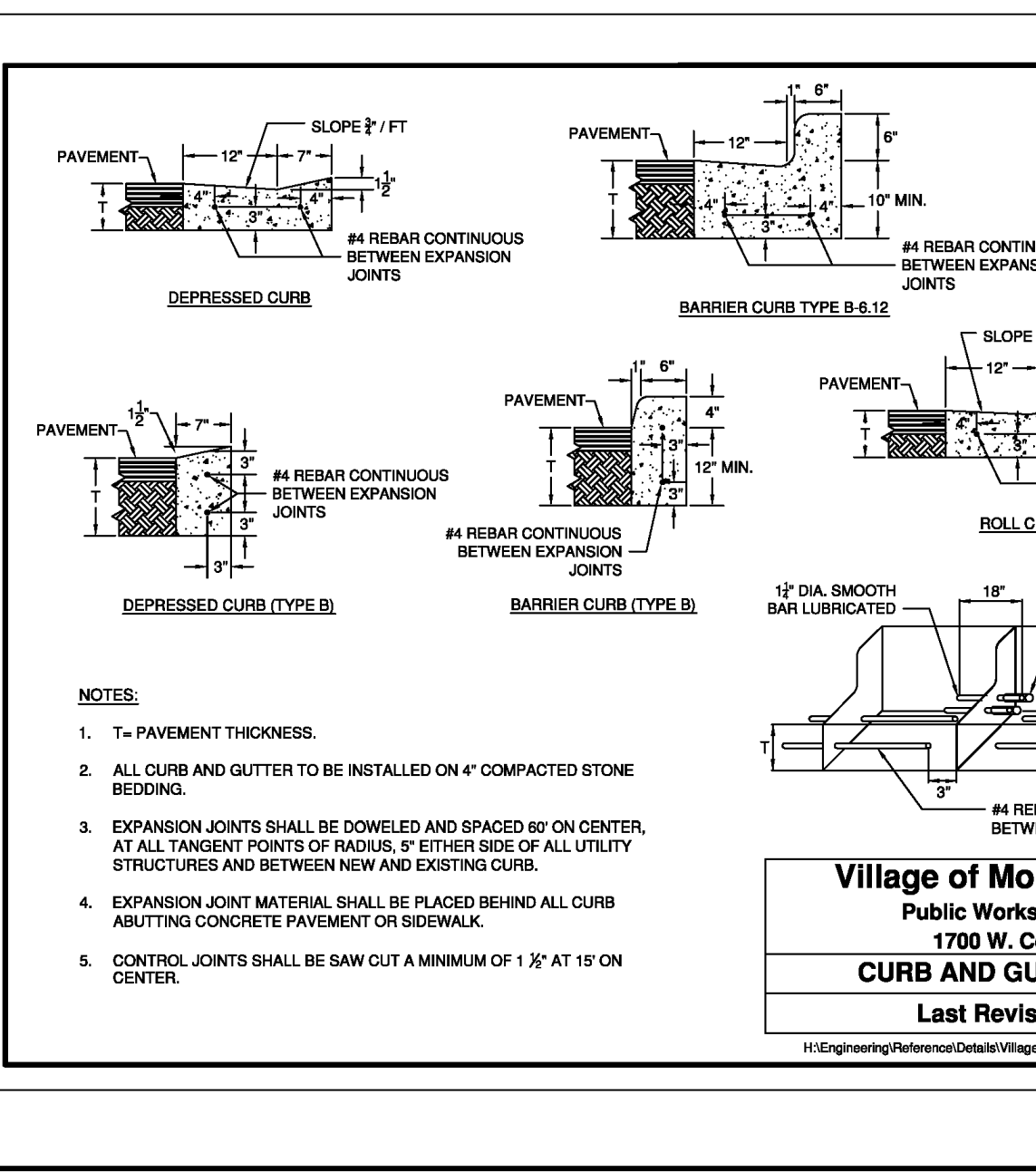
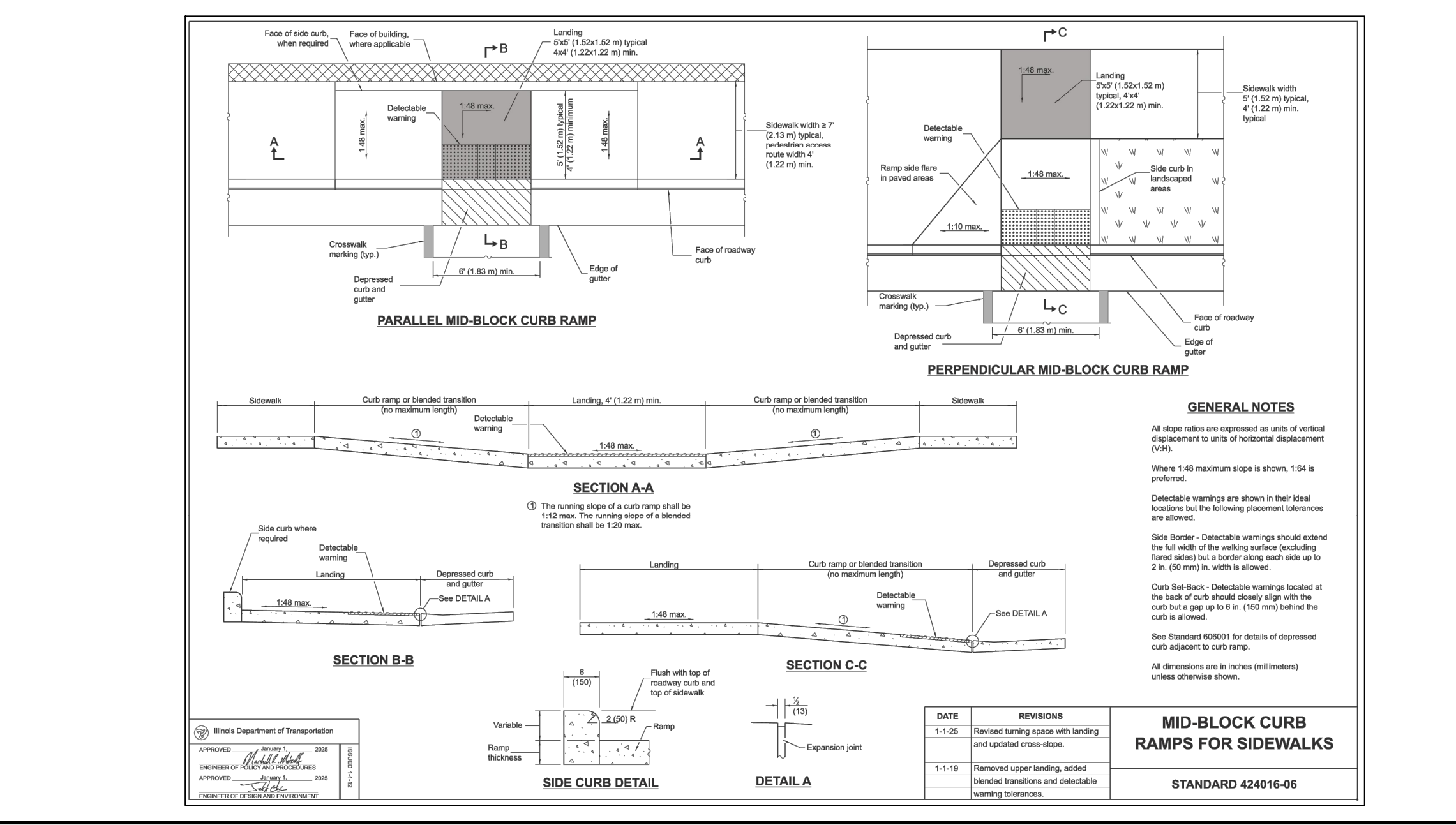
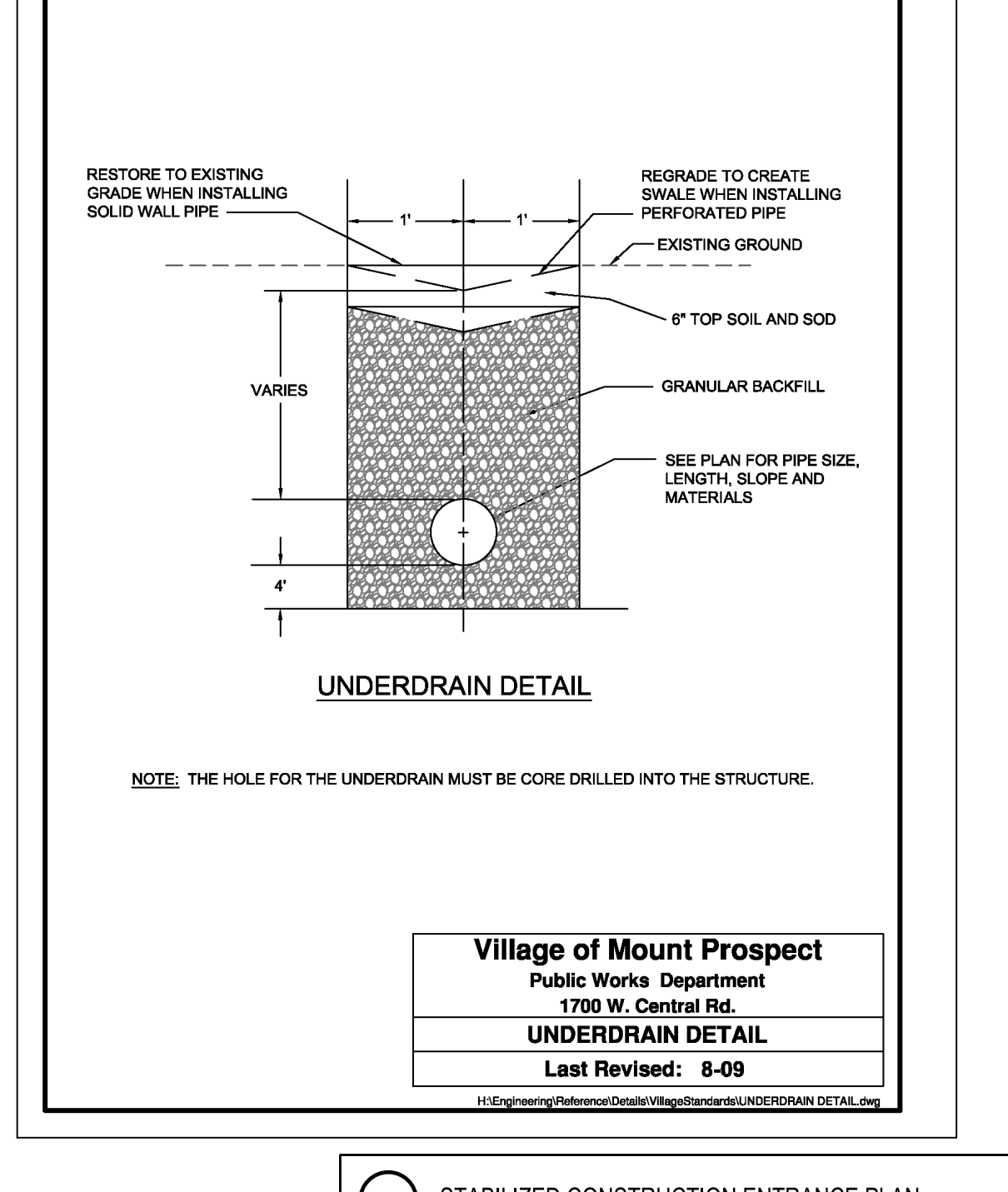
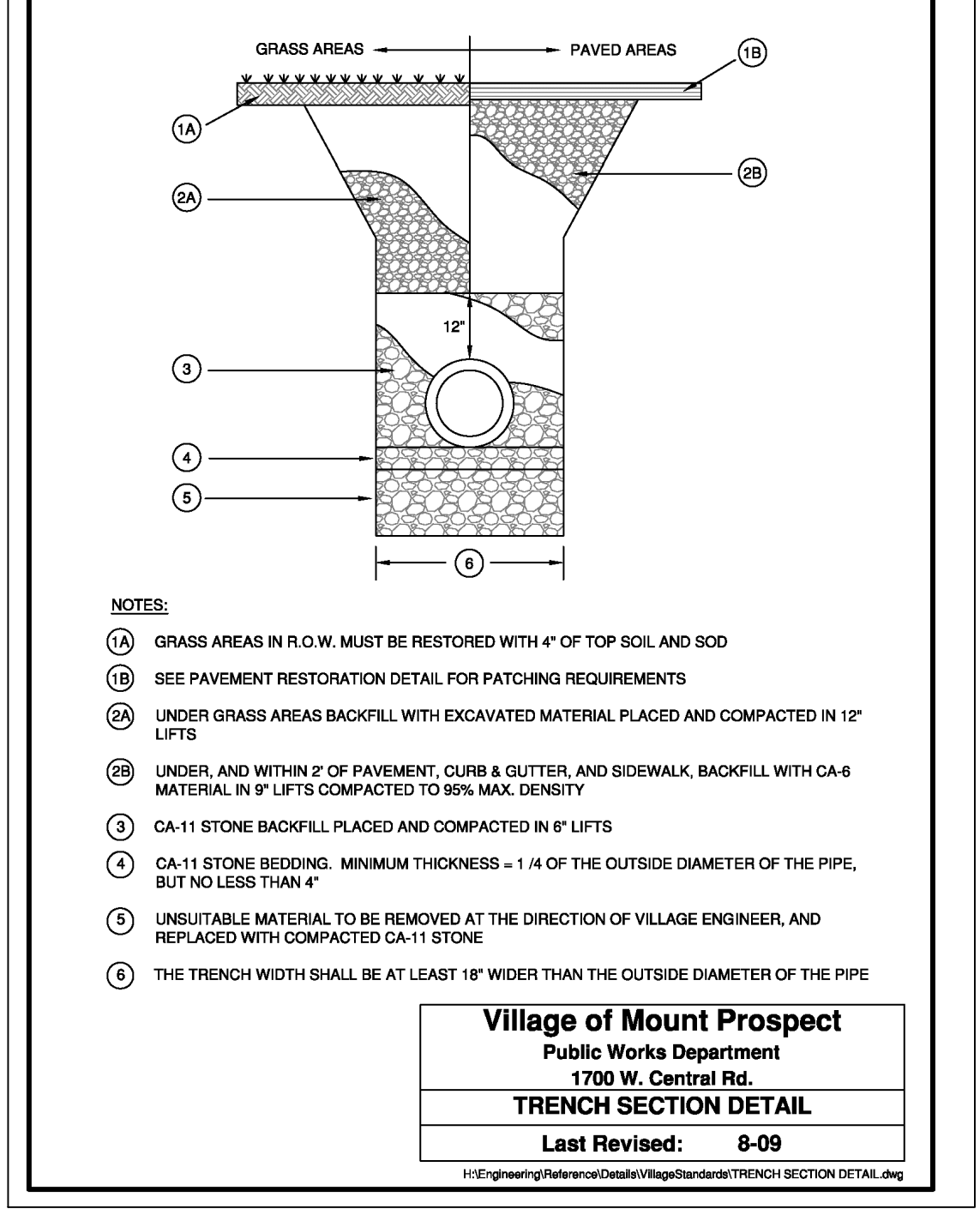
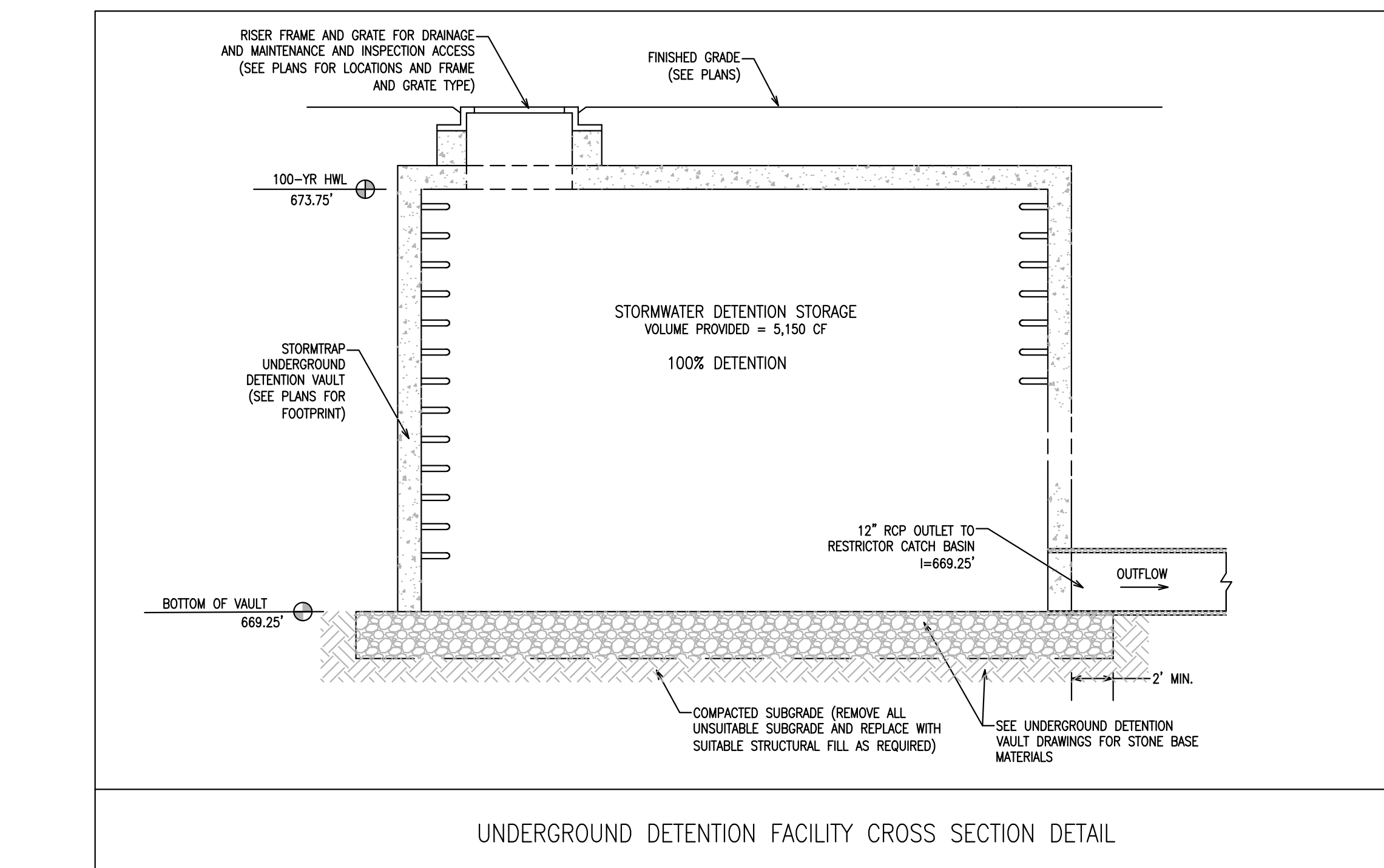
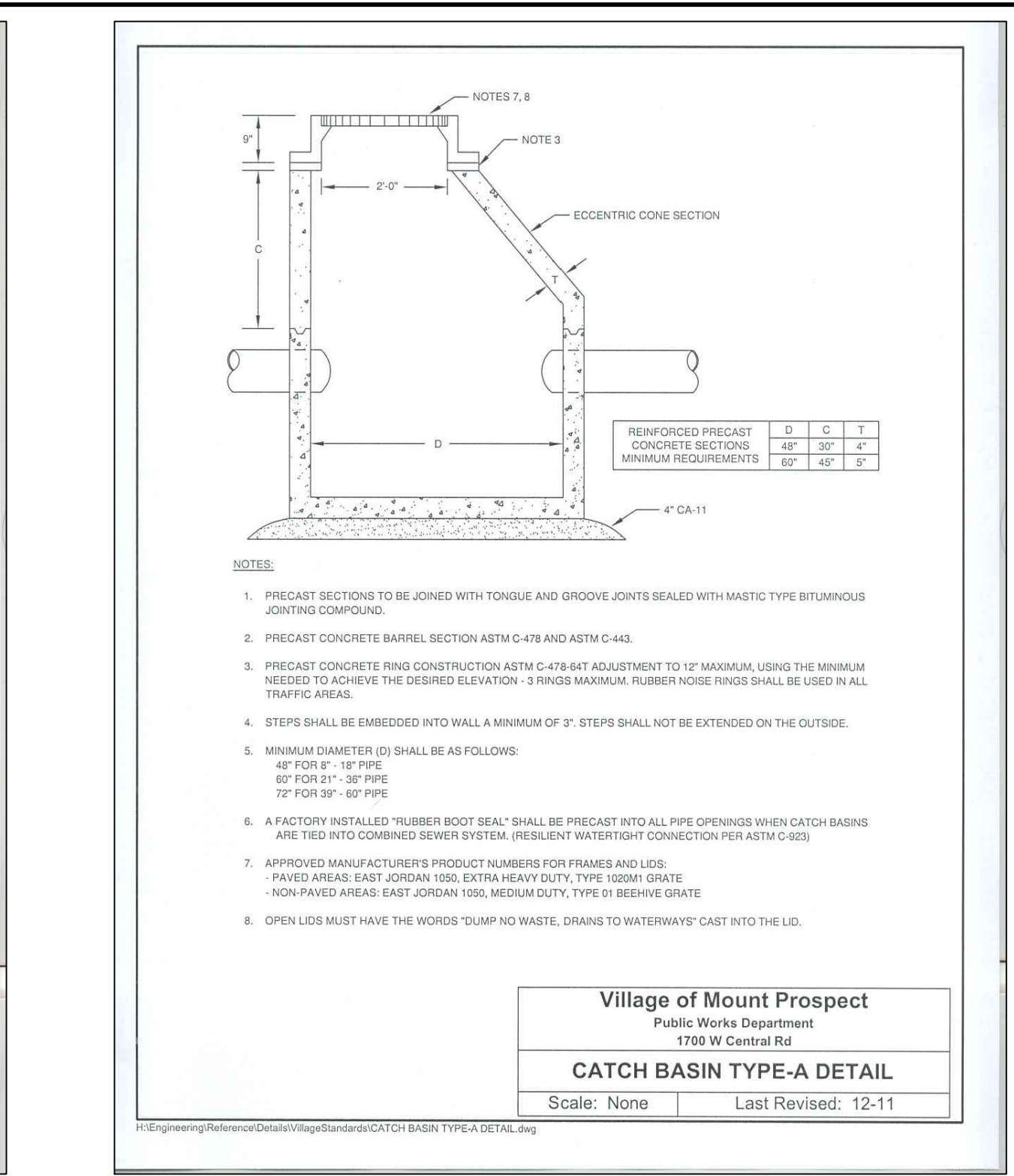
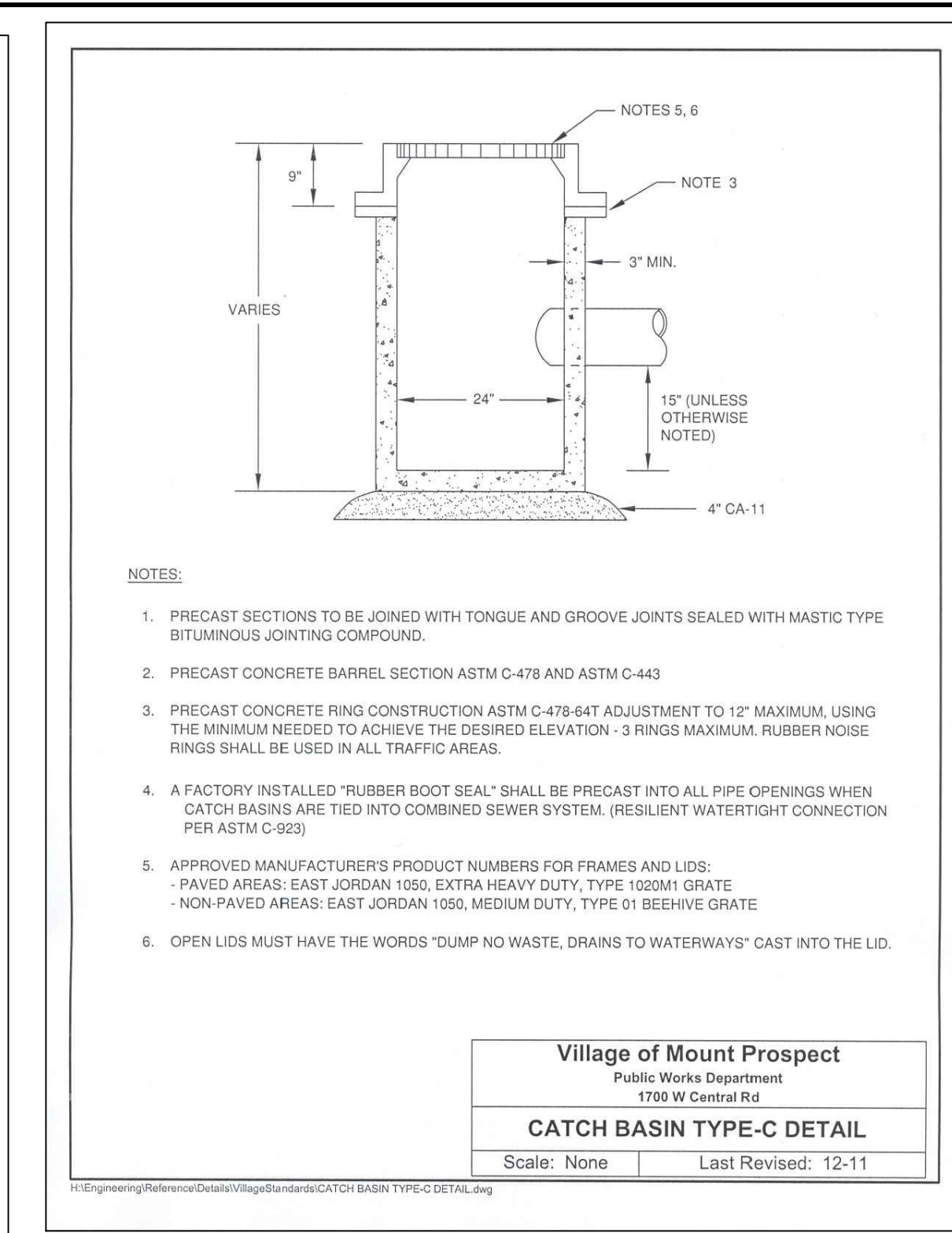
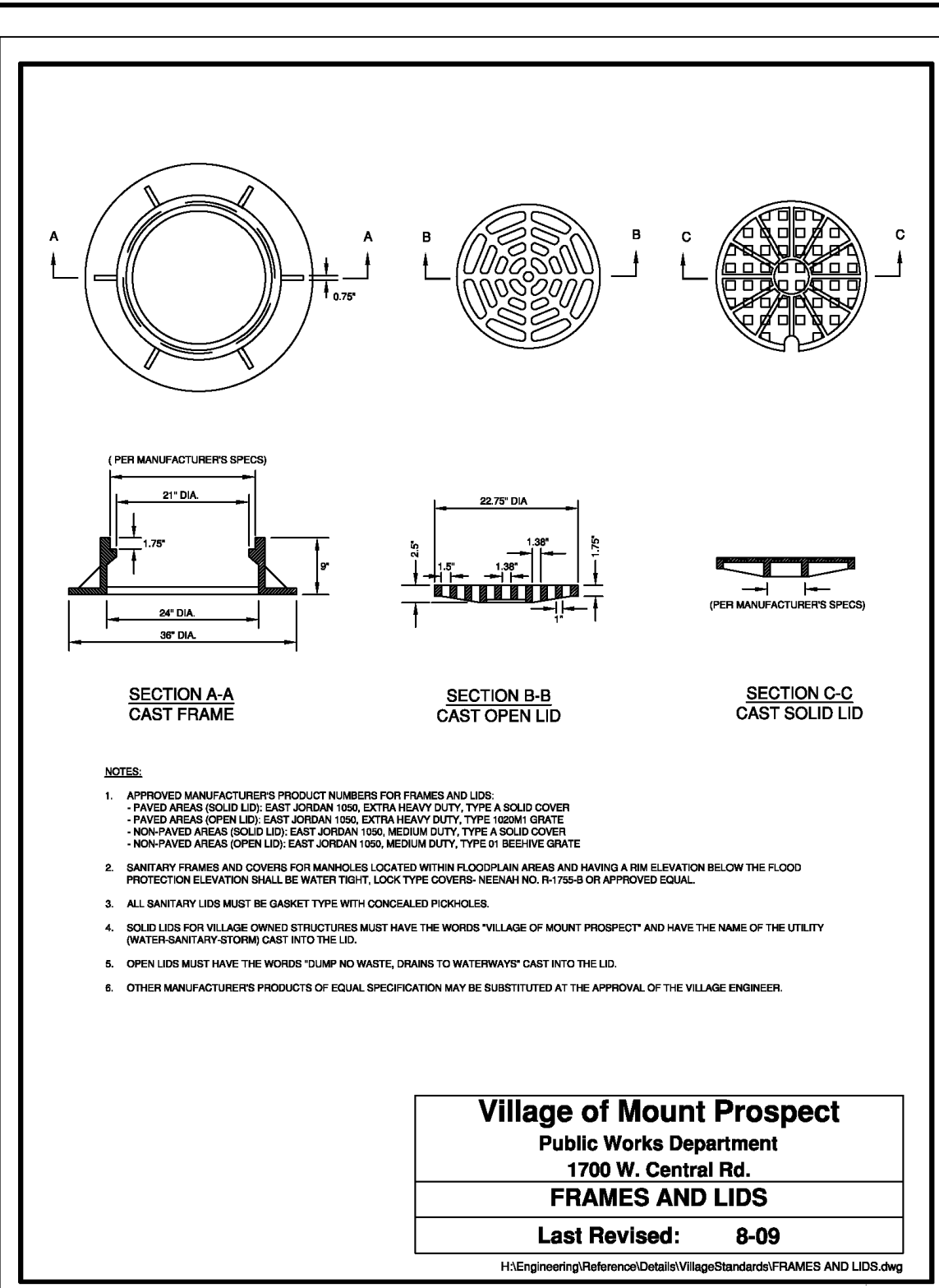
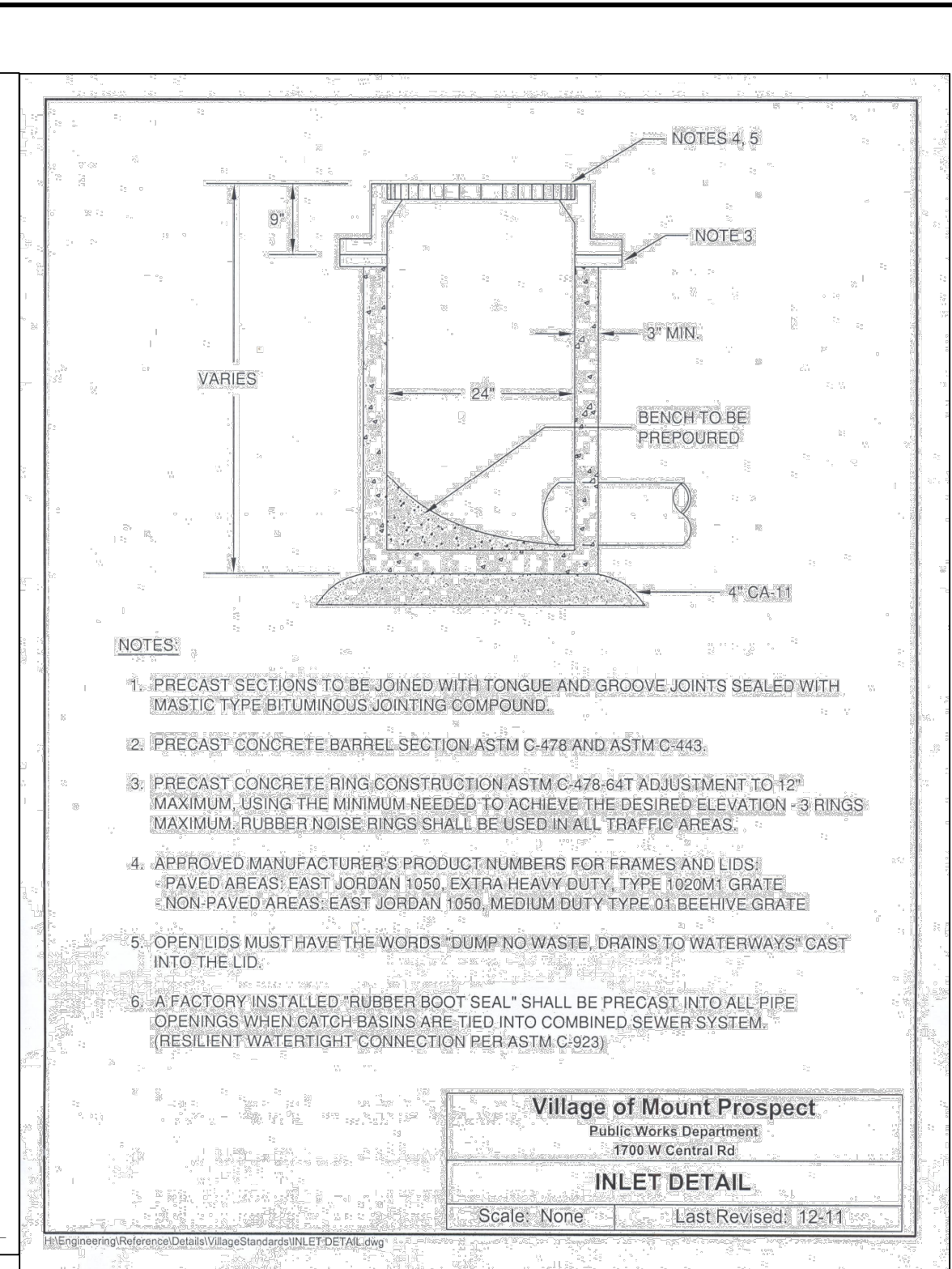
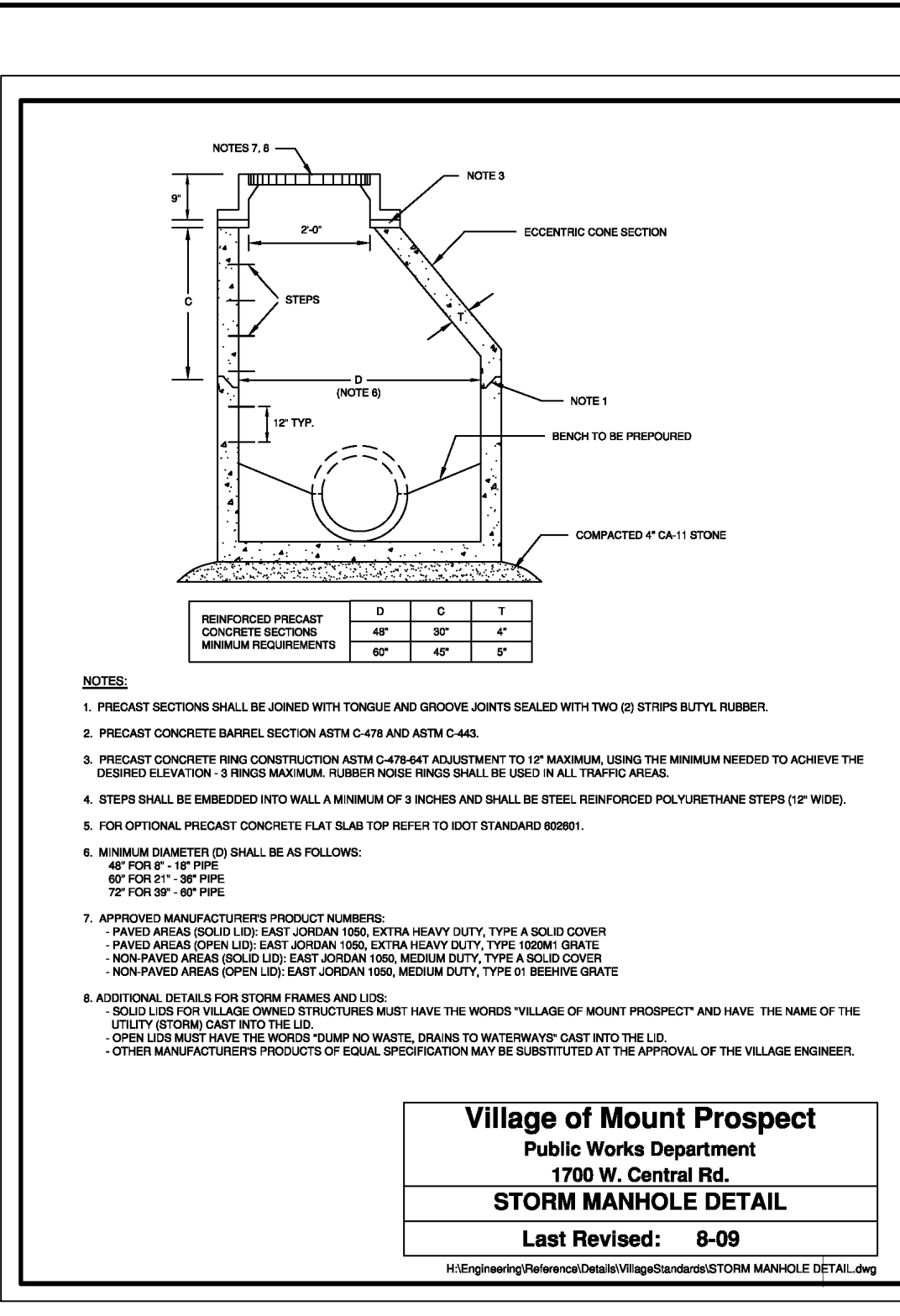
**EROSION CONTROL NOTES:**

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF SITE GRADING OR DEMOLITION OPERATIONS.
- CONTRACTOR SHALL IMPLEMENT APPROPRIATE DUST CONTROL MEASURES AS NECESSARY.
- EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS ANTICIPATED BY THE ENGINEER. ADDITIONAL MEASURES MAY BE REQUIRED DURING CONSTRUCTION AS WARRANTED BY SITE CONDITIONS OR AS DIRECTED BY THE ENGINEER AND/OR PROJECT GOVERNING AUTHORITIES.
- SEE GENERAL NOTES AND SPECIFICATIONS SHEETS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

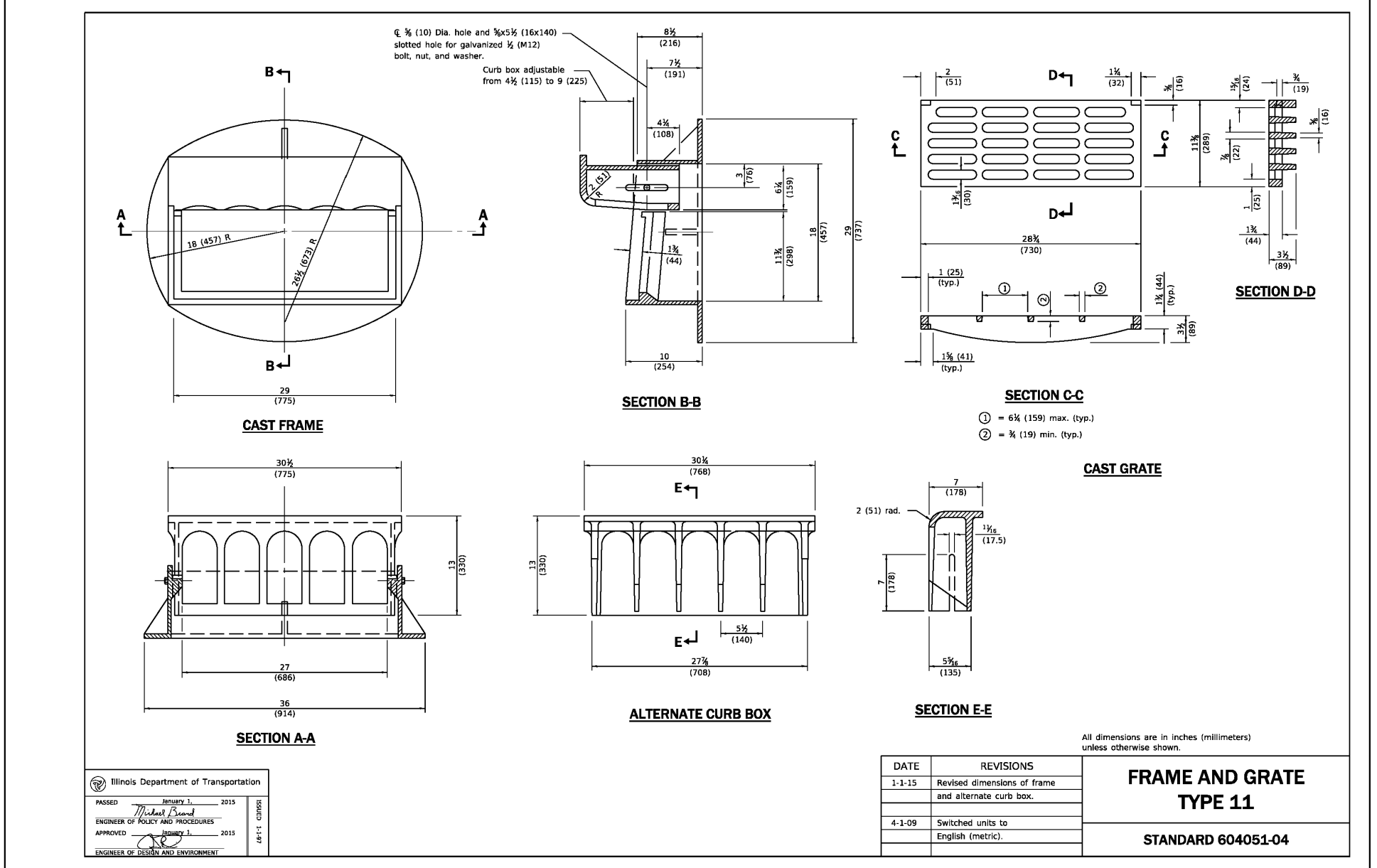
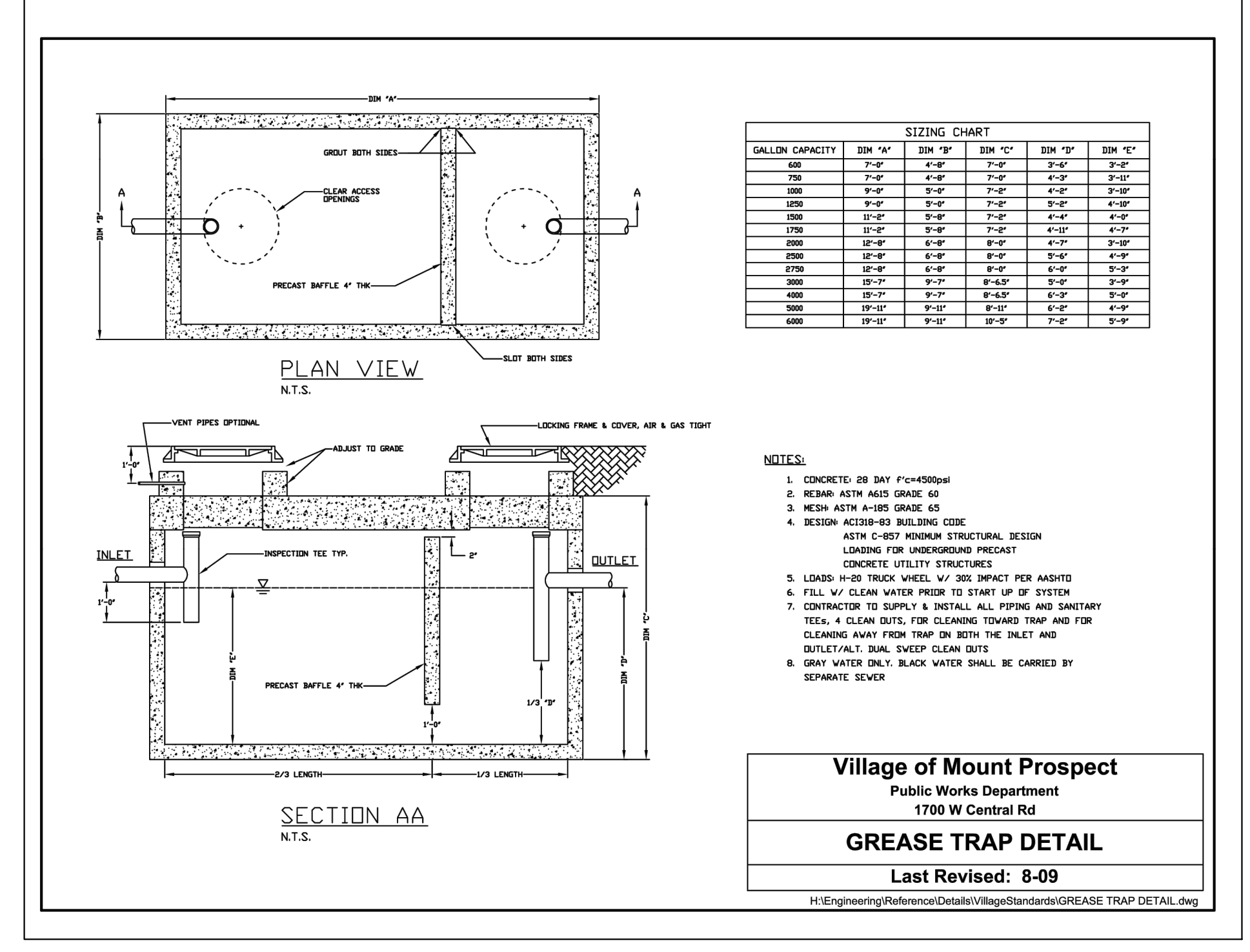
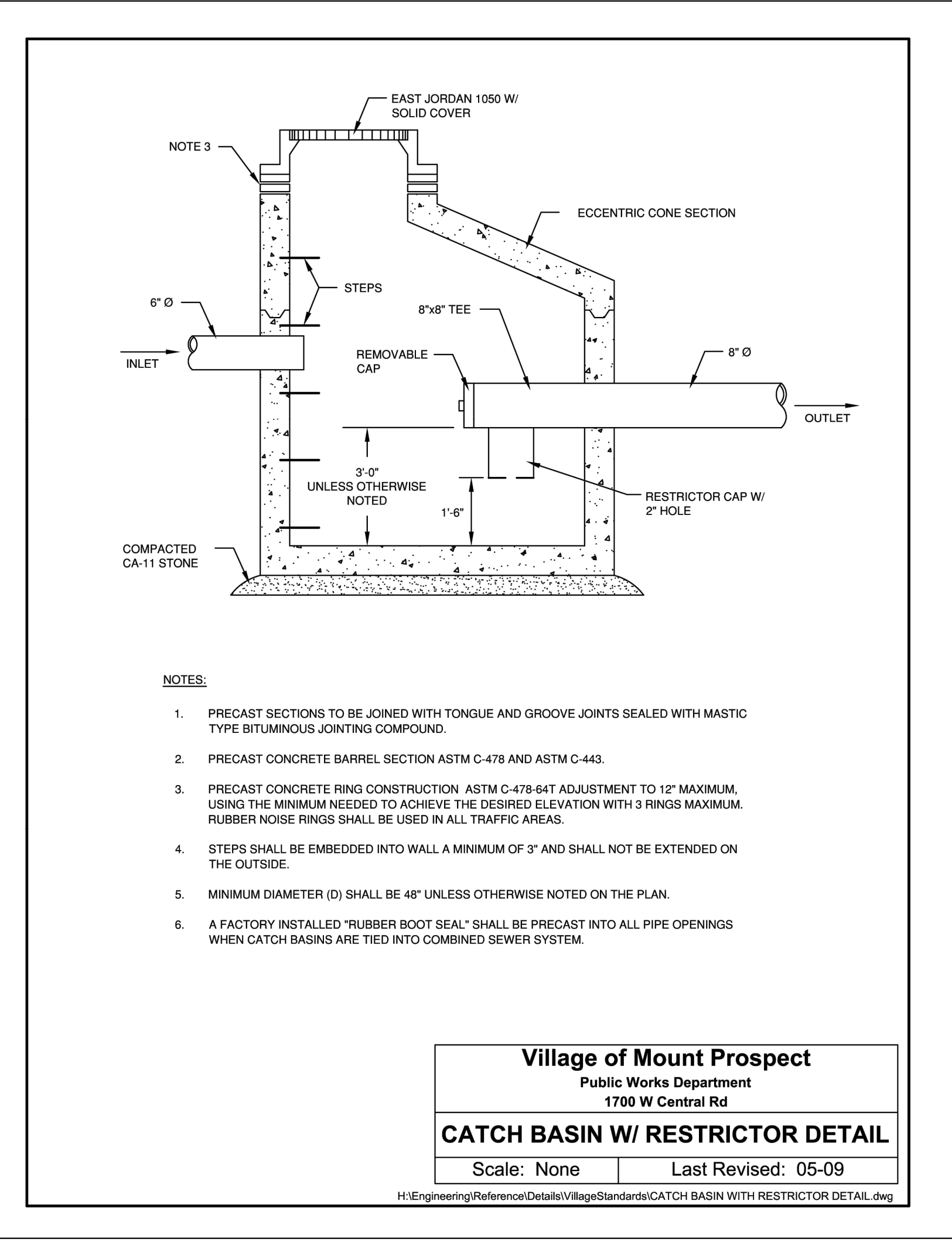
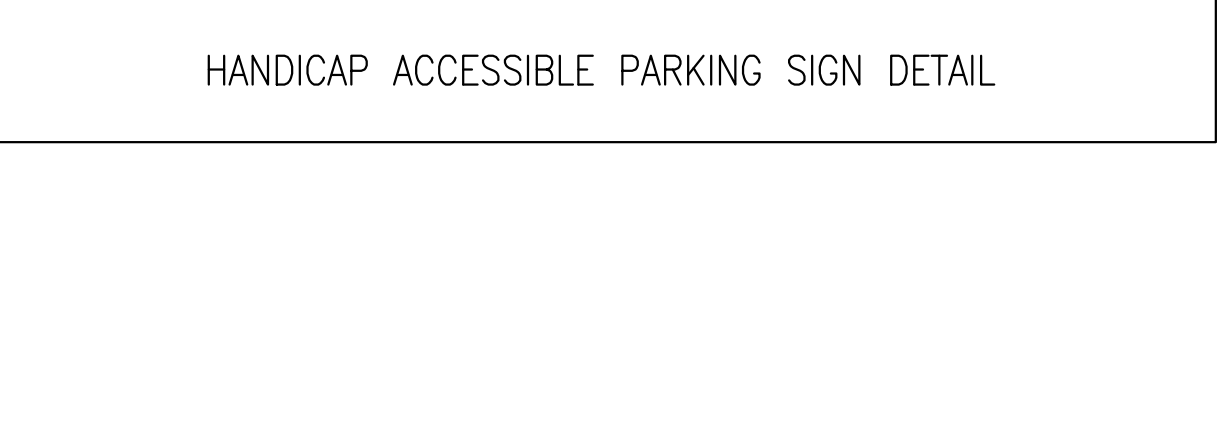
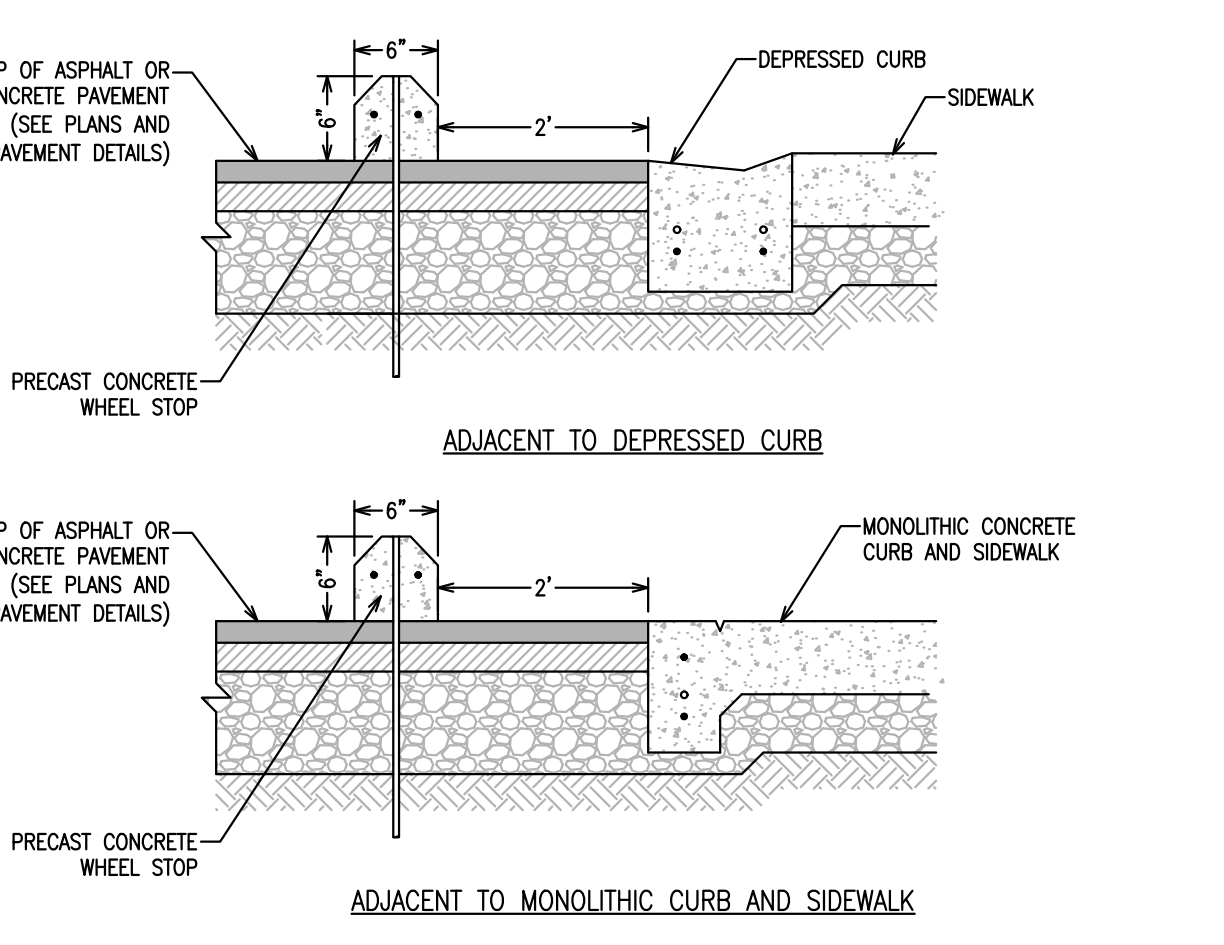
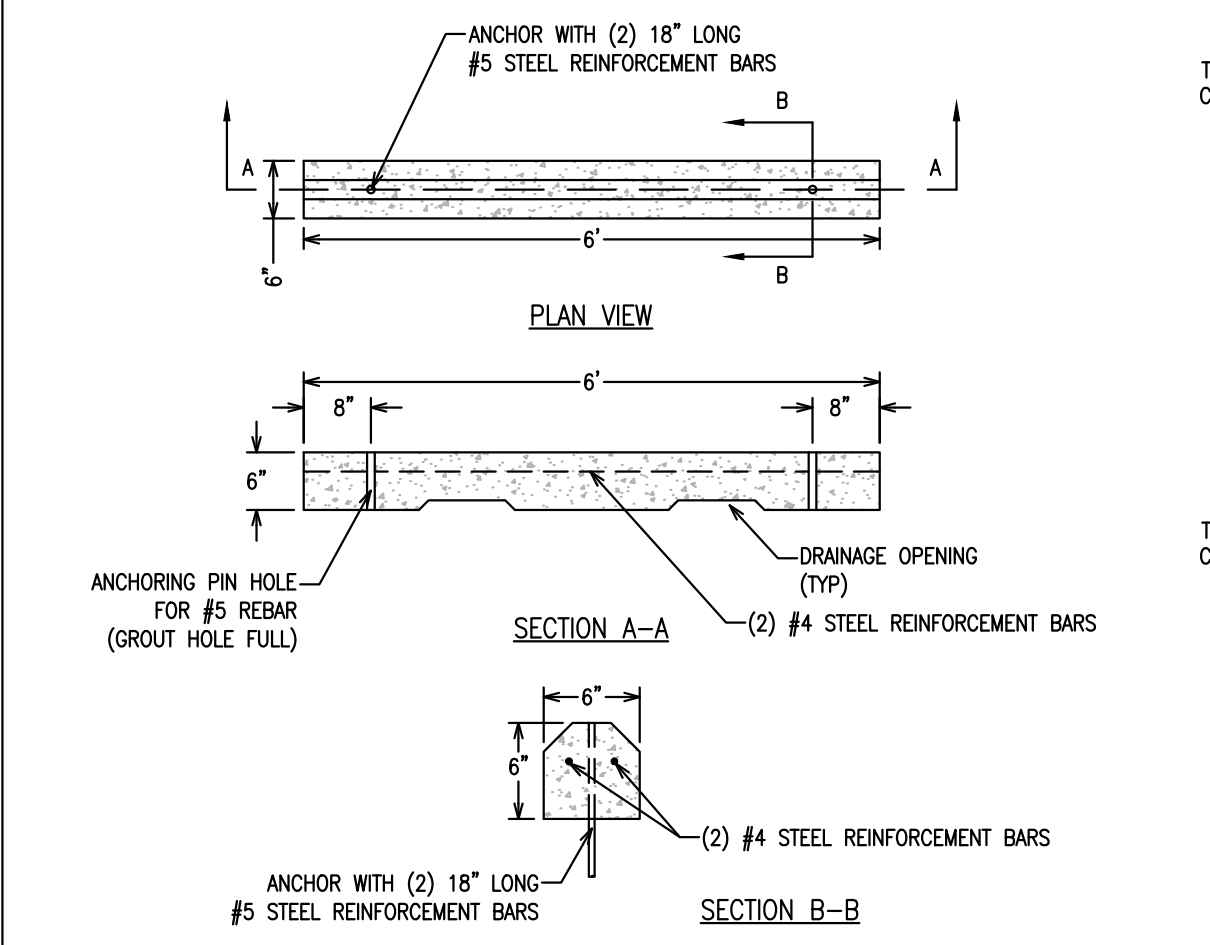
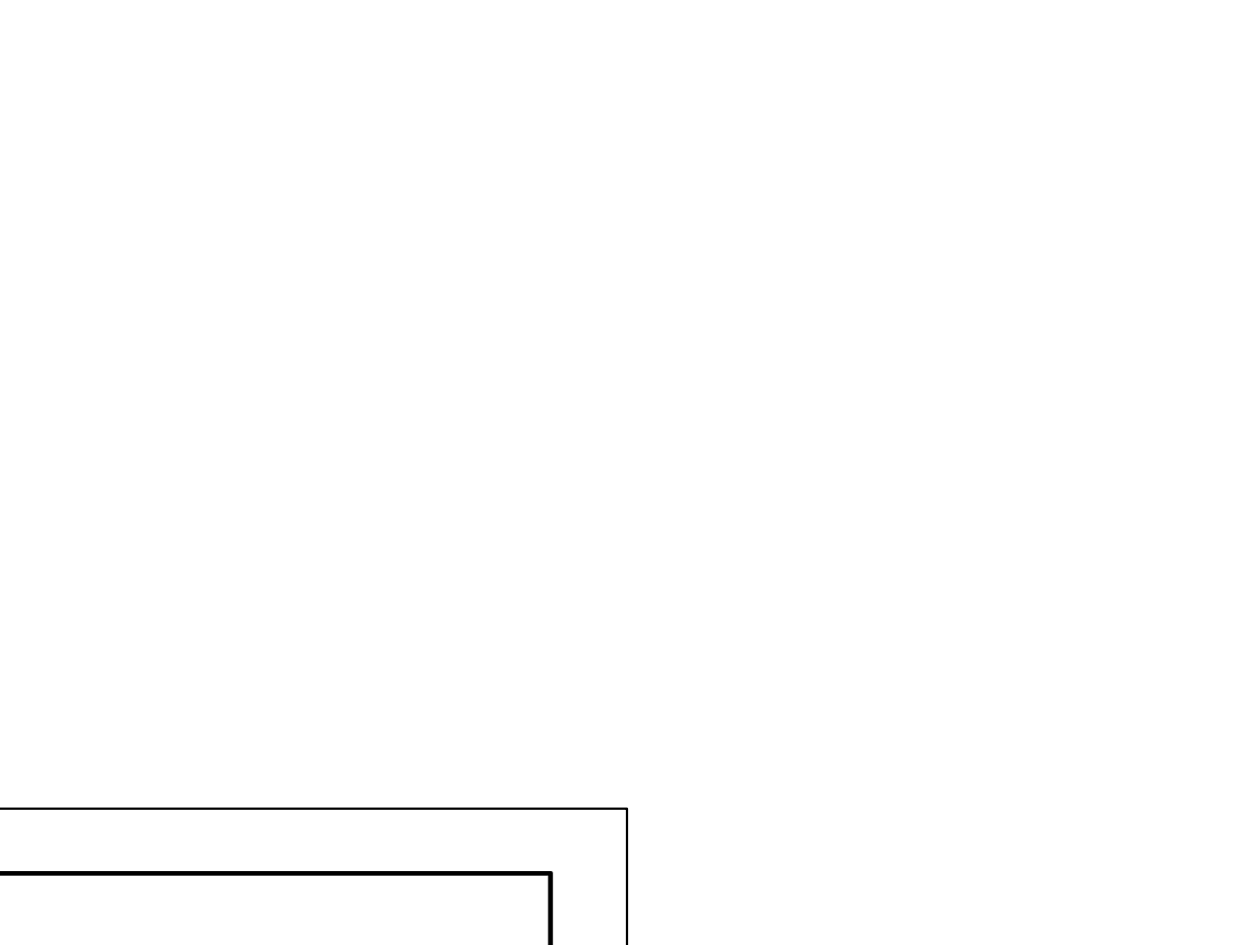
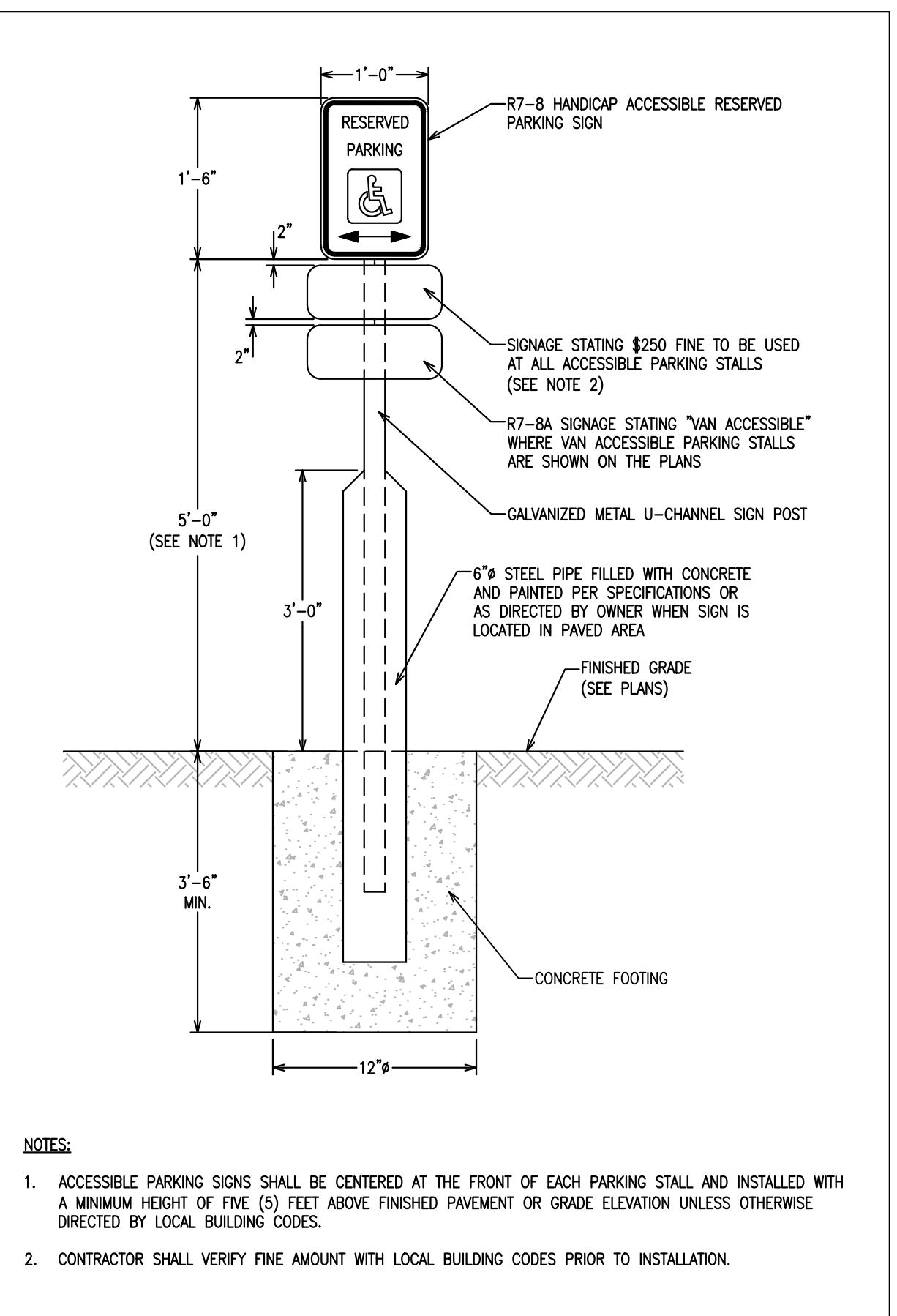
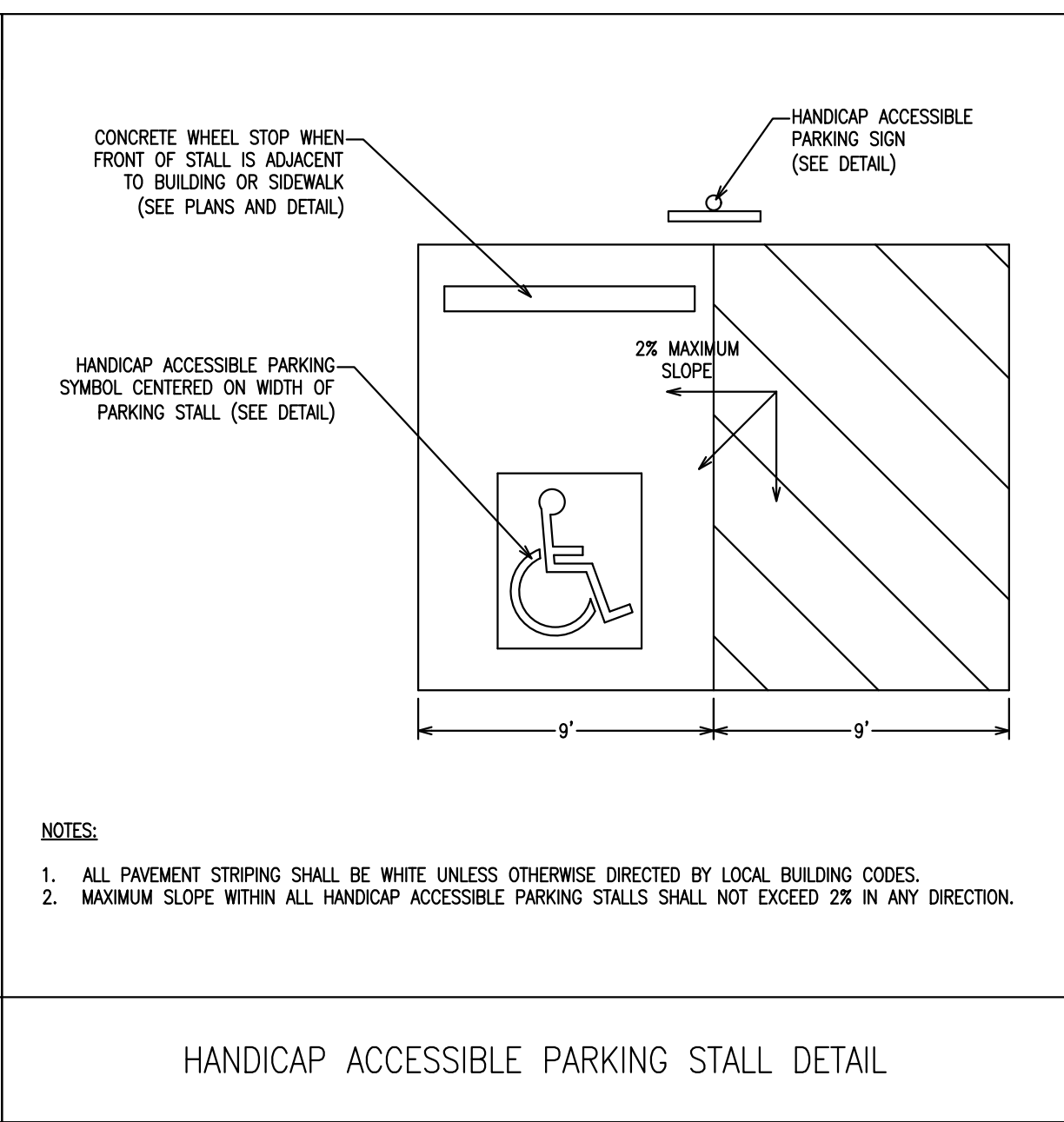
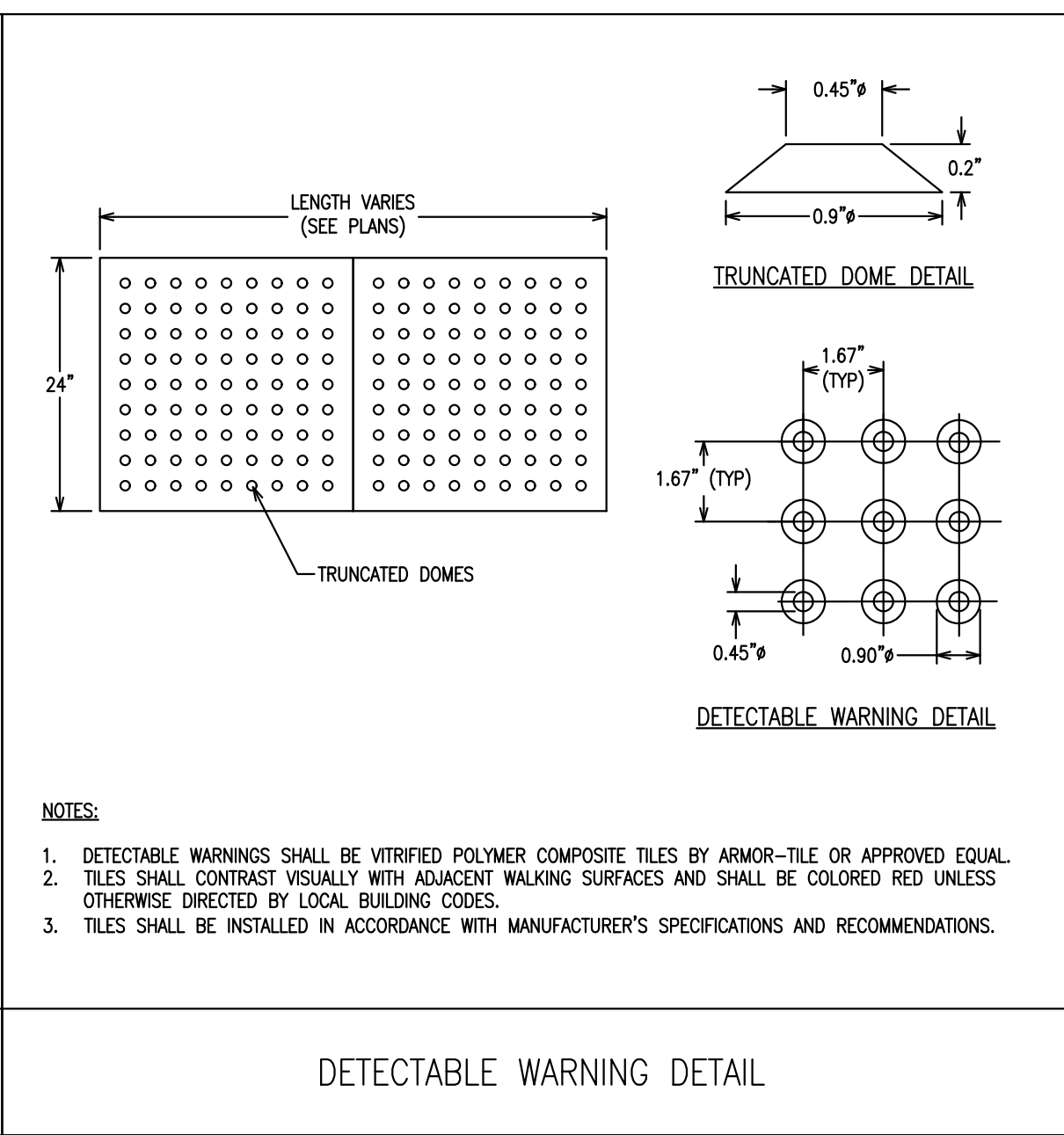
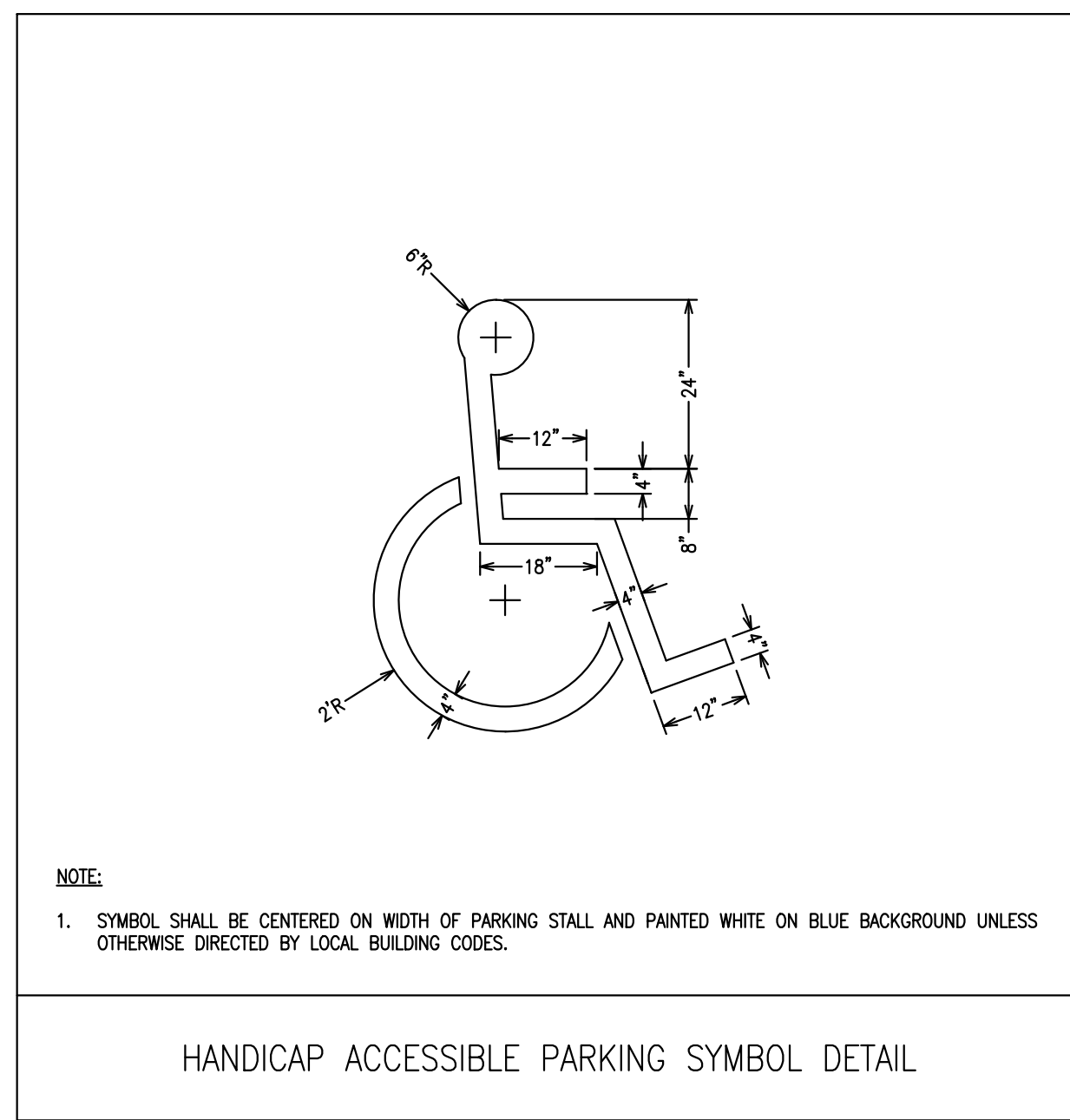
EROSION CONTROL PLAN		No.	1	PERMIT SET	12/19/25	Date
FATPOUR TAP WORKS						
ARIA GROUP						
MOUNT PROSPECT, ILLINOIS						

**JACOB & HEFNER ASSOCIATES**  
 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515  
 PHONE: (630) 652-4600, FAX: (630) 652-4601  
 www.jacobandhefner.com

**H710**  
**1" = 10'**  
**C6**

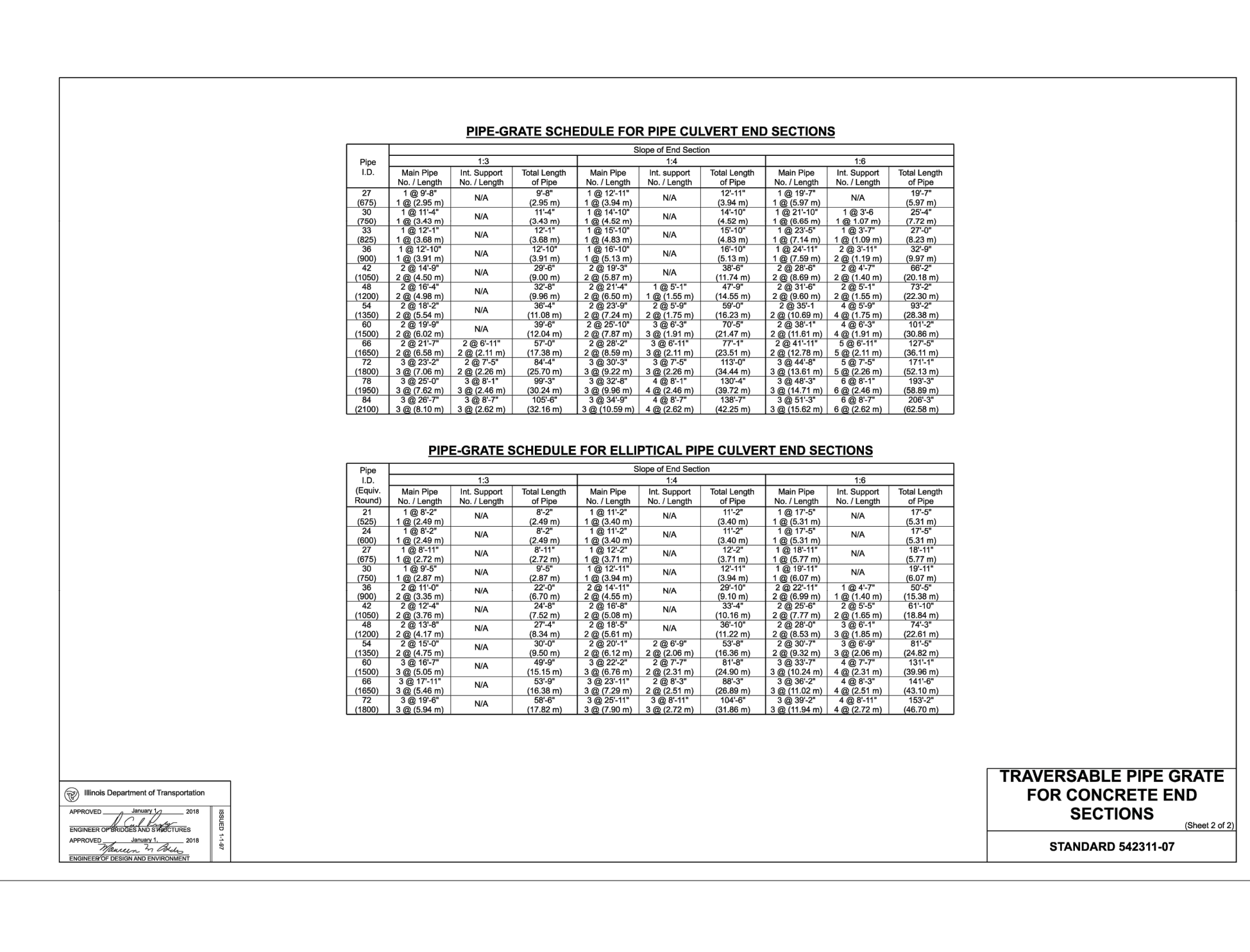
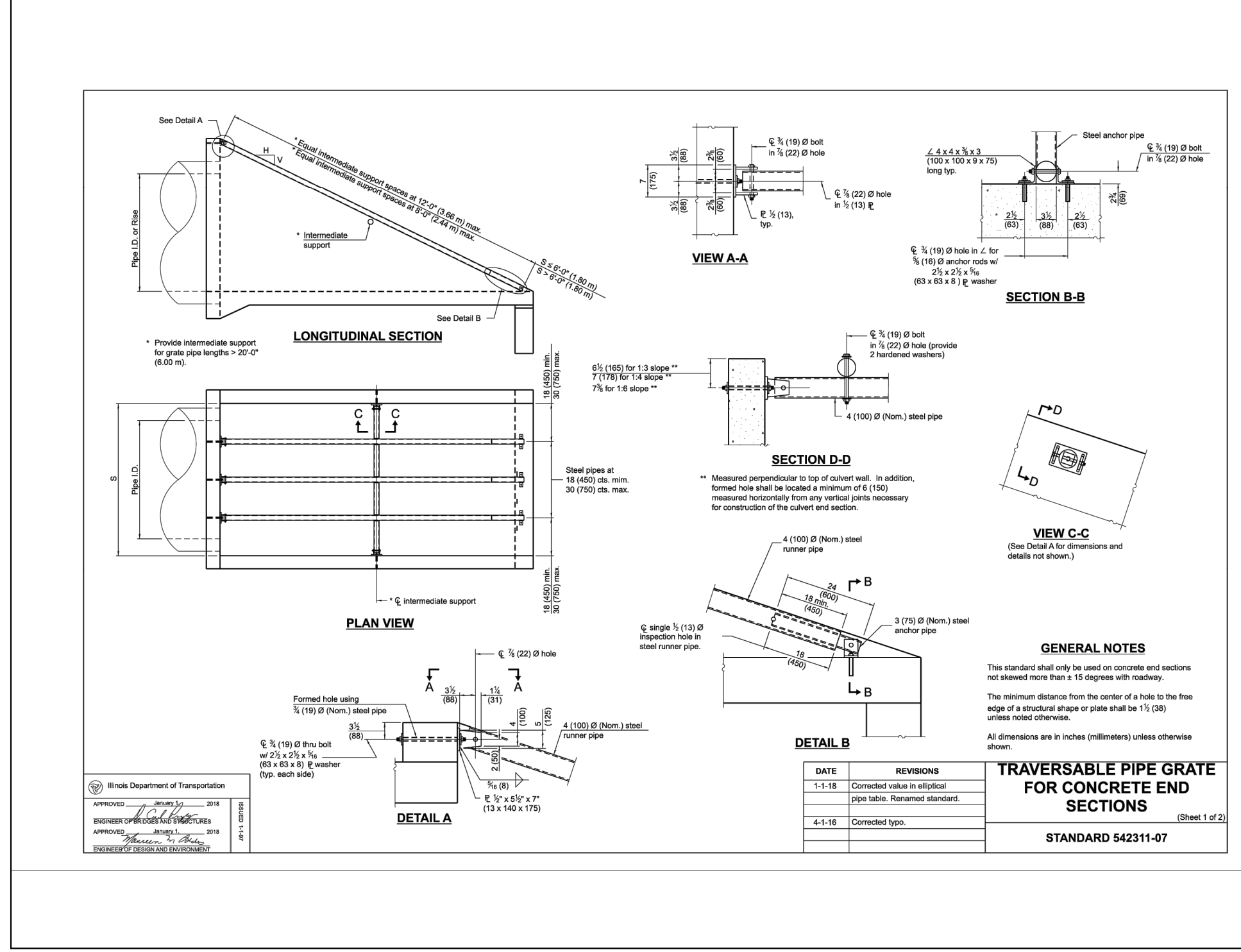
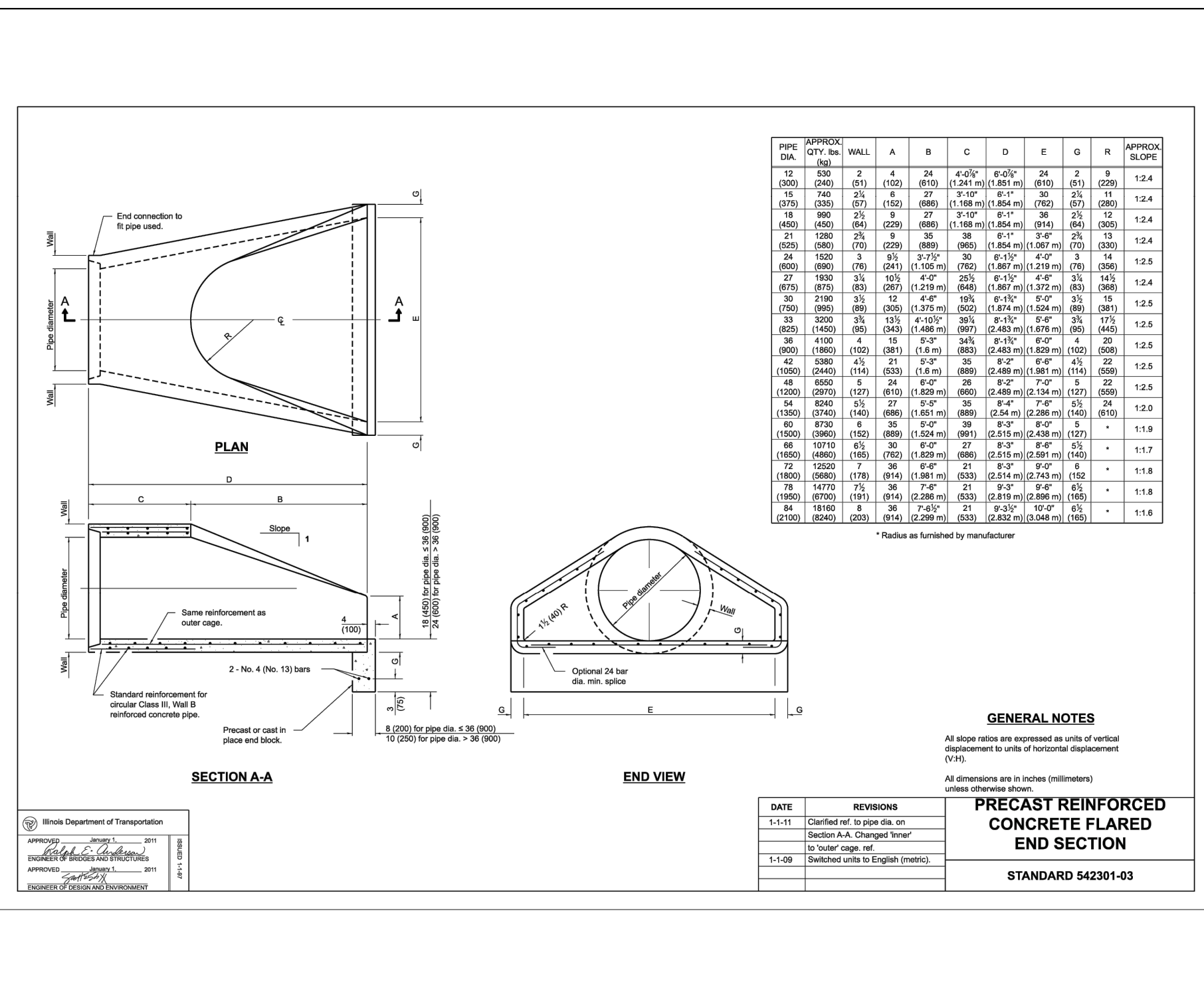


12/19/25	Date
1	PERMIT SET
No.	Description
<b>DETAILS</b>	
<b>FATPOUR TAP WORKS</b>	
<b>ARIA GROUP</b>	
<b>MOUNT PROSPECT, ILLINOIS</b>	
<b>JACOB &amp; HEFNER ASSOCIATES</b>	
1335 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com	
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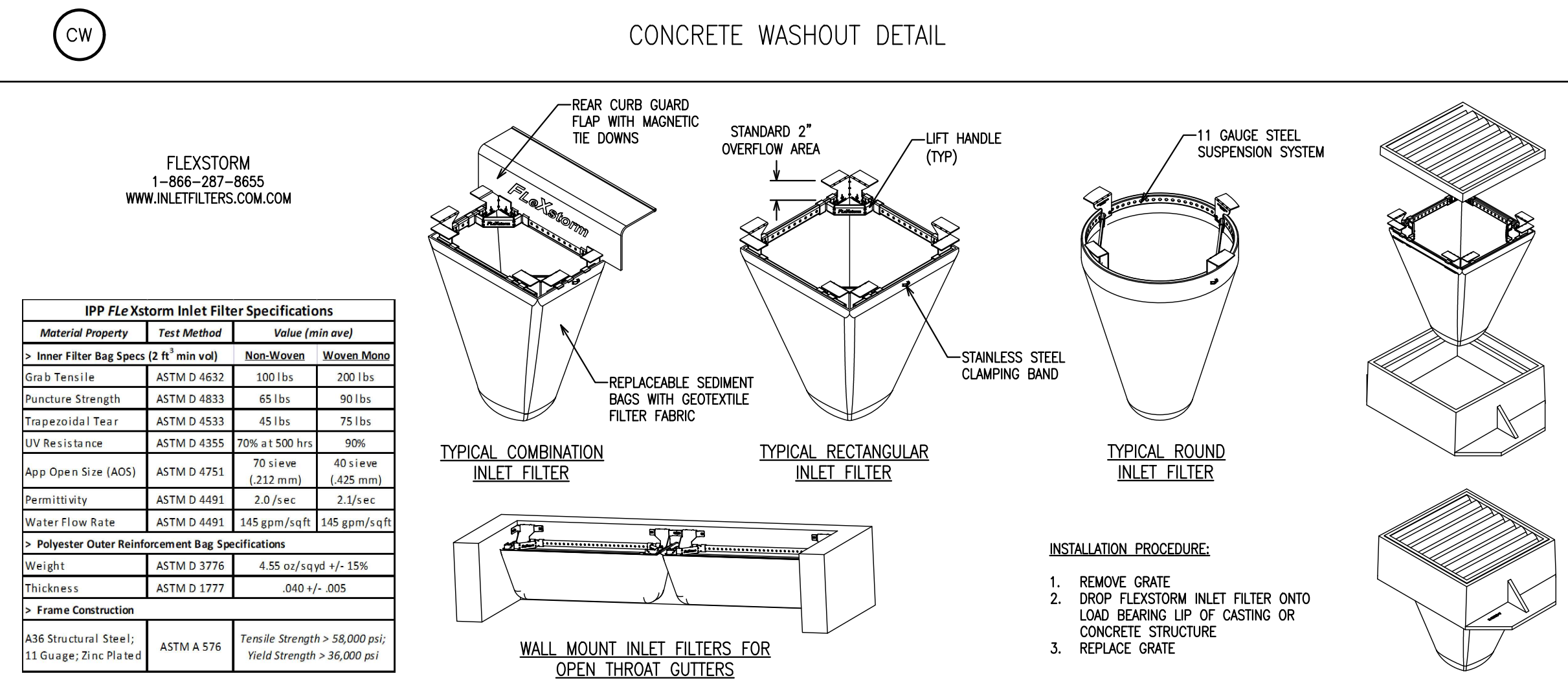
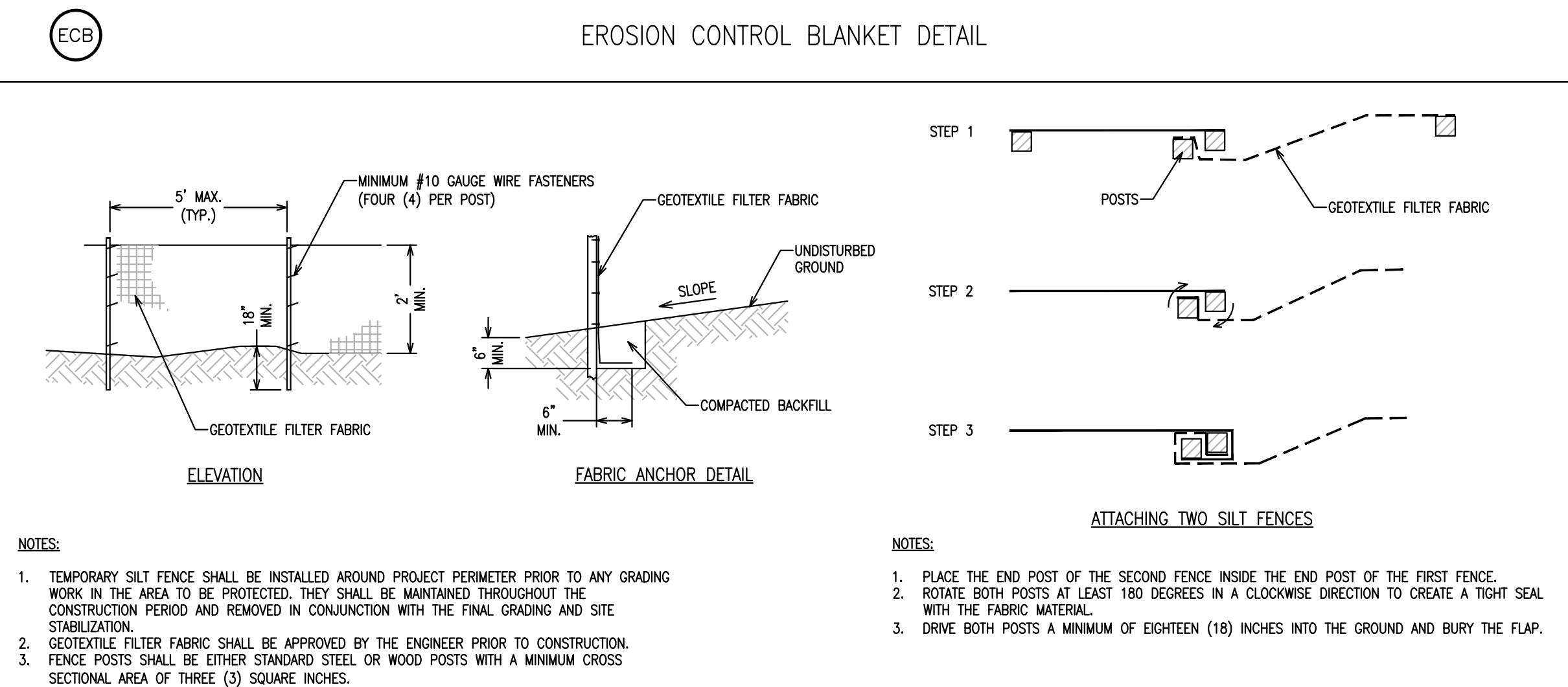
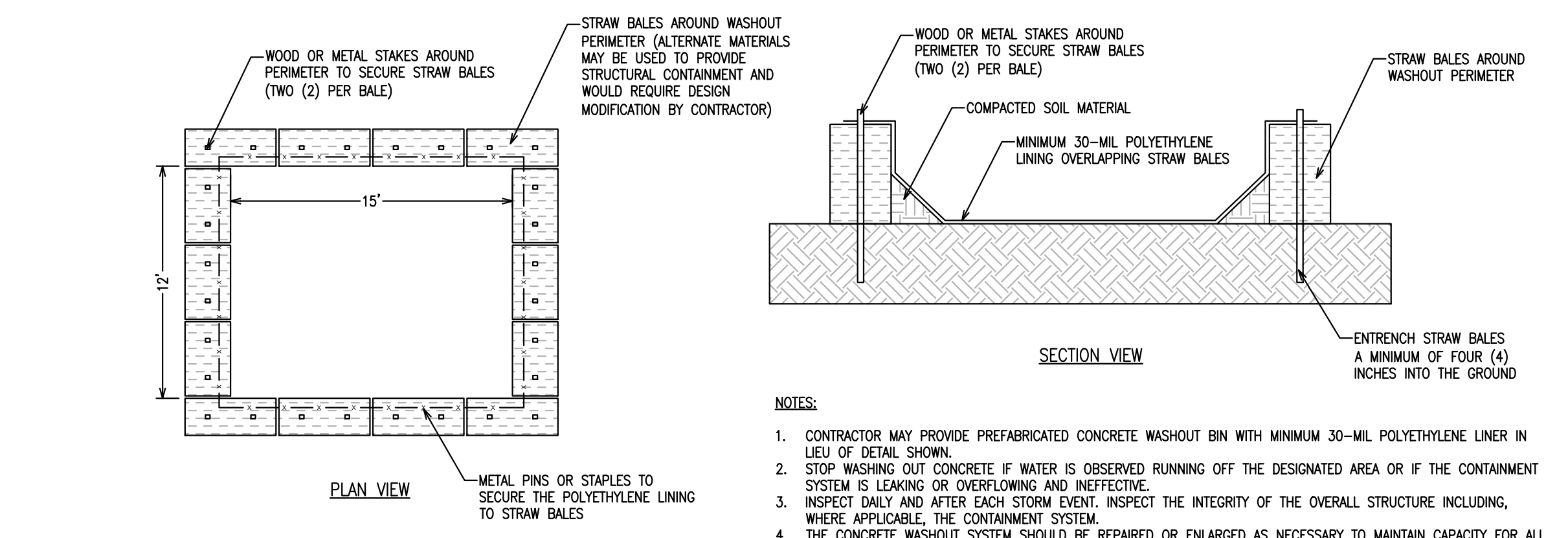
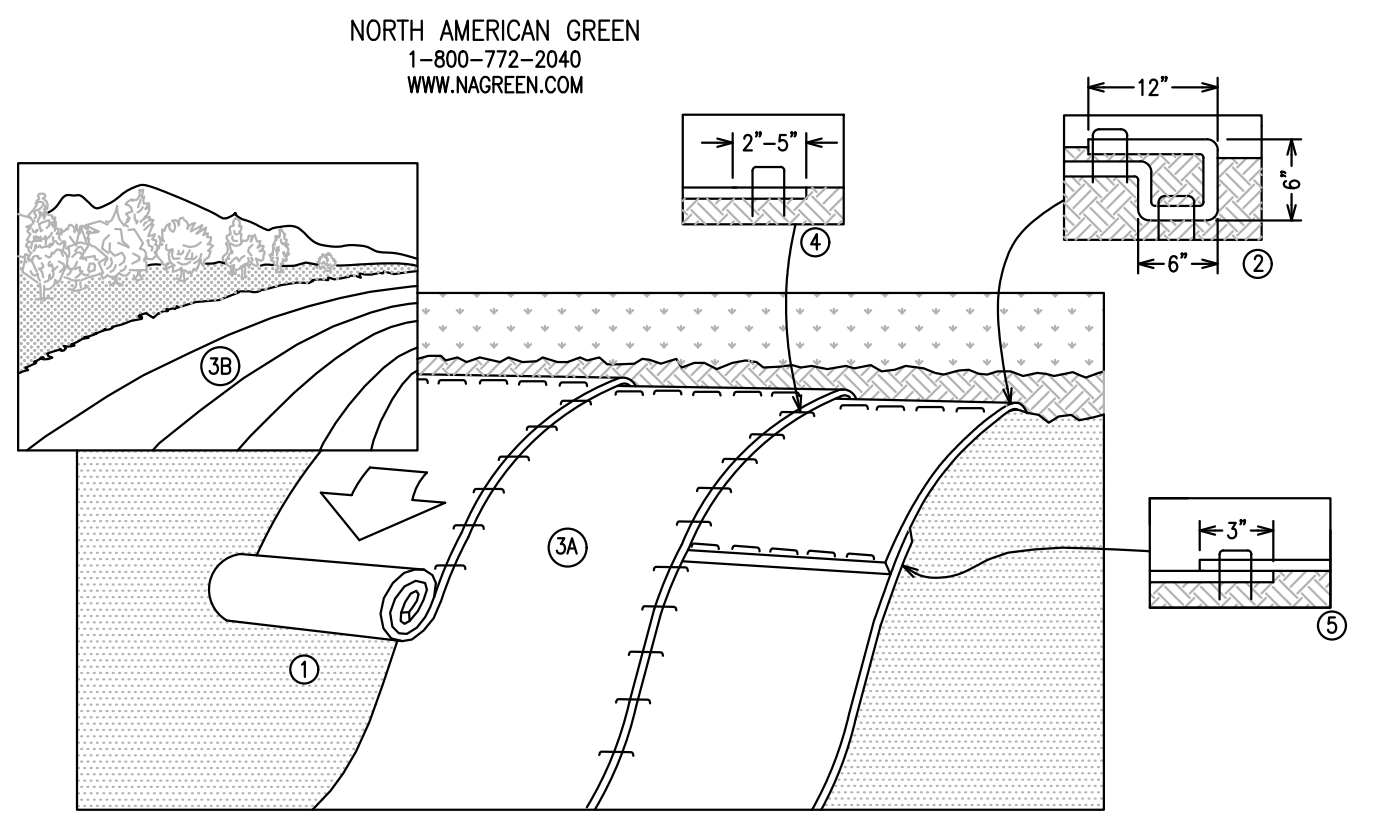


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DETAILS		FATPOUR TAP WORKS		MOUNT PROSPECT, ILLINOIS	
ARIAS GROUP		1 PERMIT SET		12/19/25	
Description		No.		Date	
JACOB & HEFNER ASSOCIATES		1535 Butterfield Rd, Suite 300, Downers Grove, IL 60515		PHONE: (630) 652-4600, FAX: (630) 652-4601	
www.jacobandhefner.com		www.jacobandhefner.com		www.jacobandhefner.com	
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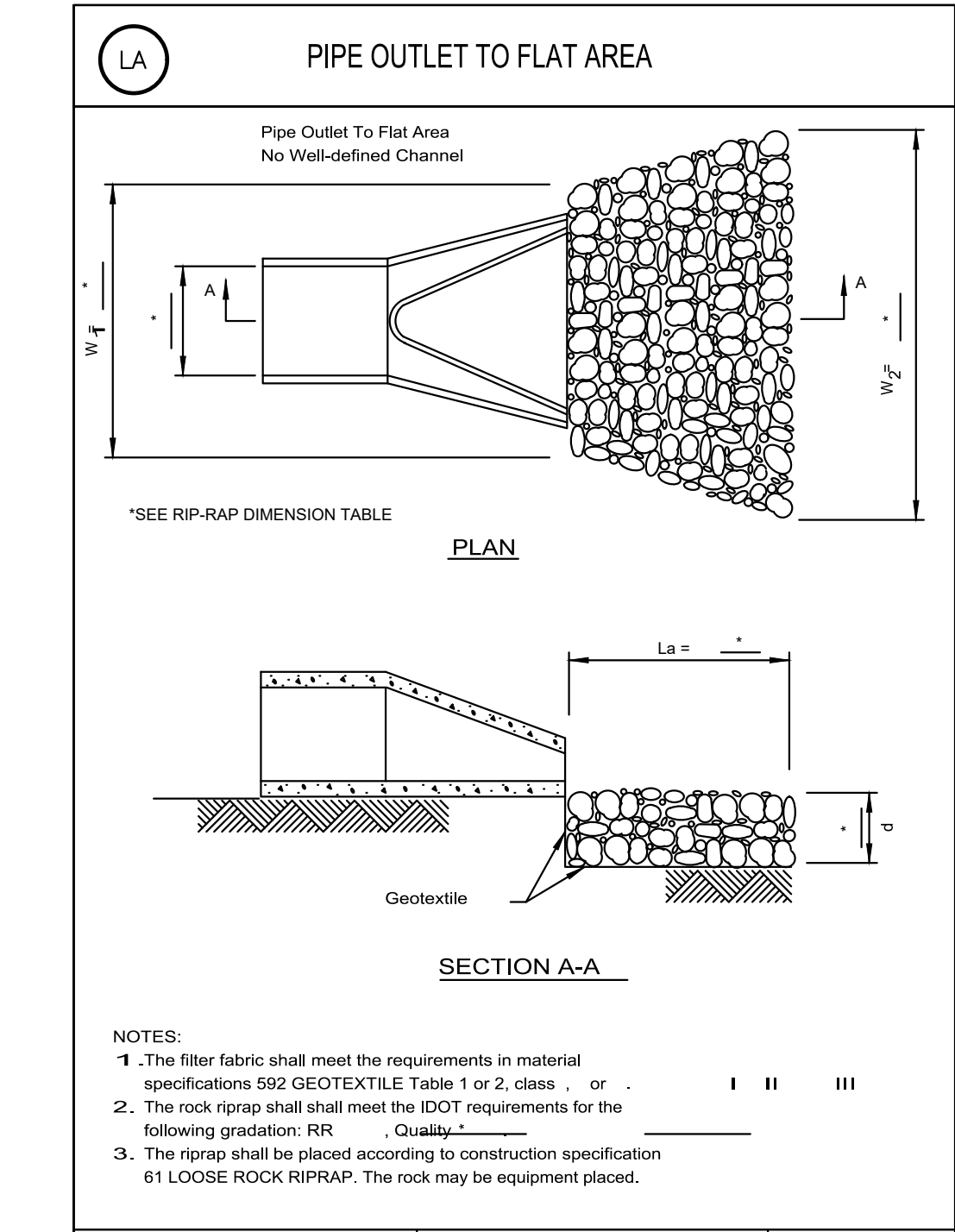


- NOTES:**
- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED (NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN).
  - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES AND APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.
  - ROLL THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  - THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5 CM-12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.
  - CONSECUTIVE RECP'S SPUN DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.
  - ONLY BIODEGRADABLE STAPLES SHALL BE USED (NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S).



**RIP-RAP DIMENSION TABLE**

PIPE DIAMETER (IN)	LENGTH OF APRON L <sub>a</sub> (FT)	WIDTH OF APRON W <sub>1</sub> (FT)	WIDTH OF APRON W <sub>2</sub> (FT)	DEPTH OF RIP-RAP d (IN)	IDOT GRADATION RR--	VOLUME OF RIP-RAP (CY)
12	10	3	13	15	3	3.7
15	10	3.75	13.75	15	3	4.1
18	15	4.5	19.5	20	4	11.1
24	18	6	24	20	4	16.7
30	20	7.5	27.5	20	4	21.6
36	24	9	33	28	5	43.6
42	27	10.5	37.5	30	5	60.0
48	27	12	39	32	6	68.0
54	27	13.5	40.5	32	6	72.0
60	36	15	51	32	6	118.0
72	44	18	62	32	6	174.0



**NOTES:**

- The filter fabric shall meet the requirements in material specifications 552 GEOTEXTILE Table 1 or 2, class I or II.
- The rock riprap shall meet the IDOT requirements for the following gradation: RR --, Quality --.
- The riprap shall be placed according to construction specification 61 LOOSE ROCK RIPRAP. The rock may be placed in.

REFERENCE: Project \_\_\_\_\_ Date \_\_\_\_\_  
 Designed \_\_\_\_\_ Date \_\_\_\_\_  
 Checked \_\_\_\_\_ Date \_\_\_\_\_  
 Approved \_\_\_\_\_ Date \_\_\_\_\_

**NRCS**  
 Natural Resources Conservation Service

STANDARD DWG. NO. IL-610  
 SHEET 1 OF 1  
 DATE 9-16-03

**JACOB & HEFNER ASSOCIATES**  
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**MOUNT PROSPECT, ILLINOIS**

**H710**  
**N.T.S.**  
**C7.2**

1 PERMIT SET  
 No. \_\_\_\_\_  
 Description \_\_\_\_\_  
 12/19/25  
 Date \_\_\_\_\_

GENERAL NOTES

- 1. ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION...
2. ALL STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS...
3. STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT...
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES...
5. NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION" PRIOR TO COMMENCEMENT OF CONSTRUCTION...
6. NOTIFICATION OF COMMENCING CONSTRUCTION
6.1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION...
6.2. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNAVAILABLE PRIOR TO TESTING OPERATIONS...
7. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC...
8. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS...
9. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED...
10. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE...
11. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR...
12. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, GUTTER AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR...
13. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION...
14. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT...
15. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE...
16. UPON AWARDING OF THE CONTRACT AND WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND AND INSURANCE IN THE AMOUNT REQUIRED...
17. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO KNOWN AVAILABLE RECORDS...
18. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES...
19. THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK...
20. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB IN ACCORDANCE WITH OSHA REGULATIONS...
21. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS, STAKES OR LATH SET BY SURVEYORS FOR CONSTRUCTION...
22. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC AND PEDESTRIANS WITHIN THE AREA OF CONSTRUCTION...
23. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE VILLAGE...
24. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION...
25. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS...
26. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF ARTICLE 201.05 OF THE STANDARD SPECIFICATIONS...
27. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT...
28. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE...
29. ALL CUTS OVER ONE-INCH IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH...
30. ANY DEMATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR...
31. CONTRACTOR SHALL RECORD VIDEO OF THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS...
32. TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE ALL UNDERGROUND UTILITIES WITHIN TWO FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, BUILDINGS, AND SIDEWALKS...
33. WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE.

GENERAL NOTES (CONT.)

- 34. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES...
35. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED THE CONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS...
36. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL AND SHALL BE MAINTAINED BY THE CONTRACTOR...
37. UPON PROJECT COMPLETION, THE CONTRACTOR SHALL PROVIDE FINAL RECORD DRAWINGS TO THE OWNER...
38. RECORD DRAWINGS SHALL BE SUBMITTED TO THE VILLAGE AT THE COMPLETION OF THE PROJECT...
39. CONTRACTOR SHALL CONTACT REPUBLIC SERVICES AT (847) 981-0091 FOR THE COLLECTION AND DISPOSAL OF ALL CONSTRUCTION AND DEMOLITION MATERIAL.

EARTHWORK

- 1. TOPSOIL EXCAVATION
A. TOPSOIL, ORGANIC MATERIAL, OR ANY OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM AREAS REQUIRING STRUCTURAL FILL...
B. PLACEMENT OF EXCAVATED MATERIAL SHALL BE DESIGNATED BY THE OWNER FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED OR AS FILL IN THE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL...
C. EXCESS MATERIALS NOT UTILIZED AS FILL OR NOT STOCKPILED FOR FUTURE LANDSCAPING, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR...
2. EARTH EXCAVATION
A. EXCAVATION OF EARTH AND OTHER MATERIALS, WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL SHALL BE WITHIN A TOLERANCE OF 0.05 FEET FOR PADS AND PAVEMENT...
B. PLACEMENT OF EARTH AND OTHER SUITABLE MATERIALS SHALL BE PLACED WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS WITHIN A TOLERANCE OF 0.1 FEET +/-...
C. COMPACTION OF THE EARTH AND OTHER SUITABLE MATERIALS SHALL BE TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR DRY DENSITY...
3. UNSUITABLE MATERIAL
A. UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION...
4. THE GRADING CONTRACTORS RESPONSIBILITIES
A. MAINTAIN POSITIVE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS...
B. SPREAD AND COMPACT UNIFORMLY ALL EXCESS TRENCH SPILL, AS SPECIFIED, AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS...
C. SCARIFY AND COMPACT THE UPPER 12 INCHES OF THE SUITABLE SUBGRADE MATERIAL...
D. PROVIDE ADDITIONAL WATER TO DRY MATERIAL TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION...
E. BACKFILL THE CURB AND GUTTER AFTER CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL...
F. ACCOUNTABLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES" AS DESCRIBED ON THE PLANS...
5. TESTING AND FINAL ACCEPTANCE
A. THE CONTRACTOR SHALL PROVIDE, AS A MINIMUM, A TANDEM AXLE TRUCK LOADED TO 14 TONS FOR PROOF ROLLING THE PAVEMENT SUBGRADE...
B. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING, SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL APPROVED BY THE SOILS CONSULTANT...
C. THE WORK AREAS SHALL BE POSITIVELY DRAINED DURING CONSTRUCTION...
DENSITY CONTROL LIMITS TABLE
MIXTURE COMPOSITION PARAMETER INDIVIDUAL TEST (INCLUDES CONFINED EDGES) UNCONFINED EDGE JOINT DENSITY MINIMUM
IL-9.5, IL12.5 Ndesign >= 90 92.0-96.0% 90%
IL-9.5, IL9.5, IL-12.5 Ndesign < 90 92.5-97.4% 90%
IL-19.0, IL-25.0 Ndesign >= 90 93.0-96.0% 90%
IL-19.0, IL-19.0, IL-25.0 Ndesign < 90 93.0-97.4% 90%
SHA Ndesign = 50 & 80 93.5-97.4% 91%
ALL OTHER Ndesign = 30 93.0-97.4% 90%

PAVEMENT

- 1. FINE GRADING
A. PRIOR TO THE CONSTRUCTION OF CURB AND GUTTER AND PLACEMENT OF THE BASE MATERIAL, THE STREETS SHALL BE FINE GRADED TO WITHIN 0.05 FEET OF FINAL SUBGRADE ELEVATION...
2. CURB AND GUTTER
A. THE TYPE OF THE CURB AND GUTTER SHALL BE AS DETAILED ON THE ENGINEERING PLANS...
B. THE CURBS SHALL BE BACKFILLED AFTER CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE...
C. THE STONE COST UNDER THE CURB AND GUTTER SHALL BE CONSIDERED INCIDENTAL...
D. DEPRESSED CURBS FOR DRIVEWAYS AND HANDICAPPED RAMPS SHALL BE INSTALLED PER THE PLANS AND IDOT STANDARDS...
3. PAVEMENT
A. THE PAVEMENT MATERIALS SHALL BE AS DETAILED ON THE ENGINEERING PLANS...
B. RECYCLED CONCRETE MAY BE USED AS AGGREGATE BASE, PROVIDED THAT IT MEETS IDOT GRADATION REQUIREMENTS...
C. RECYCLED ASPHALT MAY BE REUSED IN NEW ASPHALT BUT MAY NOT BE USED IN THE AGGREGATE BASE...
4. GENERAL
THE PAVING CONTRACTOR SHALL:
A. REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE...
B. SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE...
D. PROVIDE CONSTRUCTION, EXPANSION AND CONTRACTION JOINTS FOR CURB AND GUTTER AND P.C.C. SIDEWALK PER IDOT STANDARDS AND MUNICIPAL STANDARDS...
E. REMOVE ALL EXCESS MATERIALS AND DEBRIS...
5. TESTING AND FINAL ACCEPTANCE
A. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE LOCATIONS...
B. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE BINDER COURSE, THE STONE SUBBASE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE LOCATIONS...
C. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED...
D. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND VERIFICATION REQUIREMENTS CITED ABOVE...
6. METHOD OF MEASUREMENT
A. CURB AND GUTTER AND BASE COURSE SHALL BE MEASURED IN THE FIELD BY THE CONTRACTOR...
B. WHEN REQUESTED BY THE OWNER, DOCUMENTATION FOR THE INSTALLED BASE COURSE, BITUMINOUS CONCRETE BINDER AND SURFACE COURSE SHALL BE SUBMITTED TO THE ENGINEER...
7. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND SAFE TRAFFIC MANAGEMENT WITHIN THE AREA OF CONSTRUCTION...
8. LONGITUDINAL JOINT CONSTRUCTION
A. AS MANY LONGITUDINAL JOINTS AS PRACTICAL SHALL BE CLOSED AT THE END OF EACH DAY OF PAVING...
B. LONGITUDINAL JOINT CONSTRUCTION SHALL BE COMPLETED BEFORE THE "COLD" SIDE OF THE JOINT FALLS BELOW 200°F...
C. IN THE EVENT THE TEMPERATURE OF THE "COLD" SIDE OF A JOINT FALLS BELOW 200°F PRIOR TO JOINT CONSTRUCTION COMPLETION...
9. LONGITUDINAL JOINT DENSITY SPECIFICATIONS
A. COMPLETED LONGITUDINAL JOINTS SHALL BE ASSESSED BASED ON SECTION 103.03 OF THE STANDARD SPECIFICATIONS AND THE "HOT MIX ASPHALT - DENSITY TESTING OF LONGITUDINAL JOINTS" (BOE) AS FOLLOWS:
LONGITUDINAL JOINT DENSITY TESTING SHALL BE PERFORMED AT EACH RANDOM DENSITY TEST LOCATION...
1. CONFINED EDGE: EACH CONFINED EDGE DENSITY TEST SHALL BE REPRESENTED BY A ONE MINUTE NUCLEAR DENSITY READING OR A CORE DENSITY...
2. UNCONFINED EDGE: EACH UNCONFINED EDGE JOINT DENSITY TEST SHALL BE REPRESENTED BY AN AVERAGE OF THREE, ONE MINUTE DENSITY READINGS OR A SINGLE CORE DENSITY...
DENSITY CONTROL LIMITS TABLE

Table with 4 columns: MIXTURE COMPOSITION, PARAMETER, INDIVIDUAL TEST (INCLUDES CONFINED EDGES), UNCONFINED EDGE JOINT DENSITY MINIMUM. Rows include IL-9.5, IL12.5, IL-9.5, IL9.5, IL-12.5, IL-19.0, IL-25.0, IL-19.0, IL-19.0, IL-25.0, SHA, and ALL OTHER.

STORM SEWER

- 1. ALL STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS...
2. UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWERS SHALL BE REINFORCED CONCRETE CULVERT PIPE (RCP), ASTM C 76, WITH "O" RING RUBBER GASKET JOINTS...
3. HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE PER ASTM F-2306 WITH WATERIGHT JOINTS...
4. ALL DOWNSPOUT AND FOOTING DRAINS SHALL BE DISCHARGED TO THE STORM SEWER SYSTEM OR ONTO THE GROUND...
5. MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE...
6. ALL STORM SEWERS SHALL BE INSTALLED ON TYPE "A" BEDDING...
7. THE FRAME AND GRATE OR CLOSED LID TYPE SHALL BE AS SPECIFIED ON THE UTILITY PLAN...
8. ALL STORM SEWERS SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING...
10. AFTER THE STORM SEWER STRUCTURE HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLANS...

SANITARY SEWER

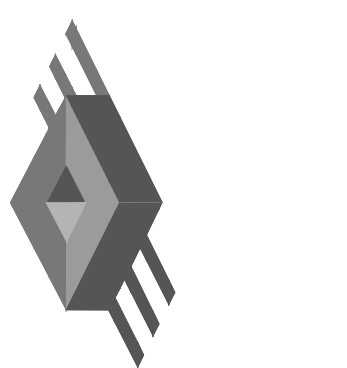
- 1. UNLESS OTHERWISE NOTED ON THE PLANS, ALL SANITARY SEWER SHALL BE RING-TITE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE...
2. WHERE SANITARY SEWER PIPE IS NOTED AS PVC C900, THE PIPE SHALL BE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) C900 WITH WATERIGHT, PRESSURE RATED JOINTS...
3. CONNECTING SEWER PIPE OF DISSIMILAR MATERIAL IS NOT PERMITTED...
4. ALL FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER...
5. ALL UNSUITABLE MATERIAL SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER...
6. COST FOR PIPE BEDDING SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER...
7. PIPE BEDDING SHALL CONSIST OF A MINIMUM OF SIX INCHES OF COMPACTED CRUSHED GRAVEL...
8. WATER MAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS...
9. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE...
10. THE TESTING OF THE PIPE STRAIGHTNESS AND FIELD TESTING, SHALL BE IN ACCORDANCE WITH THE DEVELOPMENT CODE OF THE MUNICIPALITY...
11. SANITARY SEWER MANHOLES SHALL BE FOUR FOOT INNER DIAMETER...
12. ALL SANITARY SEWER MANHOLE LIDS SHALL BE NENMH R-1891-L...
13. ALL MANHOLE JOINTS SHALL BE SEALED WITH "O" RING JOINTS...
14. DROP MANHOLE ASSEMBLIES SHALL BE PROVIDED AT THE JUNCTION OF SANITARY SEWERS...
15. INSPECTION OF MANHOLES: ALL MANHOLES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS...
16. TESTING FOR ACCEPTANCE OF SANITARY SEWERS AND MANHOLES, INCLUDING SERVICE LINES...
17. ALL SANITARY SEWERS SHALL BE TELEVIEWED...
18. IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED...
19. THE CERTIFICATION CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF THE TESTS CONDUCTED BY AN INDEPENDENT LABORATORY...

SOIL EROSION AND SEDIMENT CONTROL

- 1. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE SUBDIVISION CONTROL ORDINANCE OF THE MUNICIPALITY...
2. BEFORE STARTING CLEARING AND SITE GRADING WORK, A CONSTRUCTION ENTRANCE AND SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS...
3. THE CONSTRUCTION ENTRANCE TO THE SITE SHALL BE STABILIZED WITH GRAVEL PRIOR TO BEGINNING ANY WORK ON THE SITE...
4. SILT FILTER FENCE SHALL BE PLACED AS SHOWN ON THE PLANS AND AS DIRECTED BY THE MUNICIPALITY'S ENGINEERING INSPECTOR...
5. STAKED SILT FENCE SHALL BE INSTALLED AND MAINTAINED AROUND THE INLETS AND CATCH BASINS...
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES...
7. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT...
8. AT THE COMPLETION OF THE PROJECT, ALL STORM SEWER PIPES AND STRUCTURES SHALL BE CLEANED AND FREE OF DIRT AND DEBRIS...
9. THE TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE EFFECTIVELY UNTIL ALL THE PERMANENT EROSION CONTROL ITEMS ARE FULLY FUNCTIONAL...
10. THE GUARANTEE PERIOD SHALL START AFTER ALL THE PERMANENT EROSION CONTROL MEASURES ARE FULLY FUNCTIONAL AND ACCEPTABLE TO OWNER...
11. A STOCKPILE OF ANY KIND SHALL NOT BE PLACED IN SPECIAL MANAGEMENT AREAS...
12. IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORM WATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION...
13. STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES...
14. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION...
15. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION...
16. GRAVELED ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH...
17. ALL CONTRACTORS SHALL COMPLY WITH SWPPP PLAN AND NPDES REQUIREMENT...

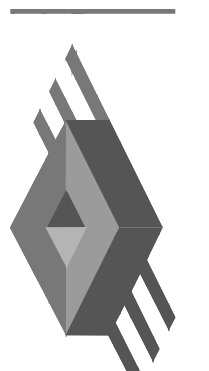
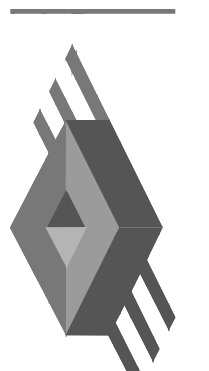
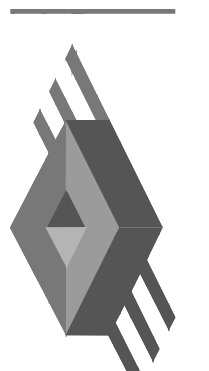
GENERAL NOTES AND SPECIFICATIONS
FATPOUR TAP WORKS
ARIA GROUP
MOUNT PROSPECT, ILLINOIS

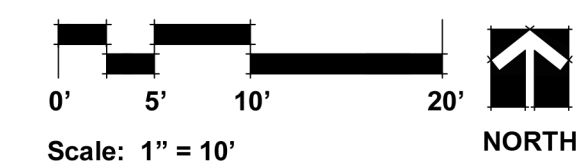
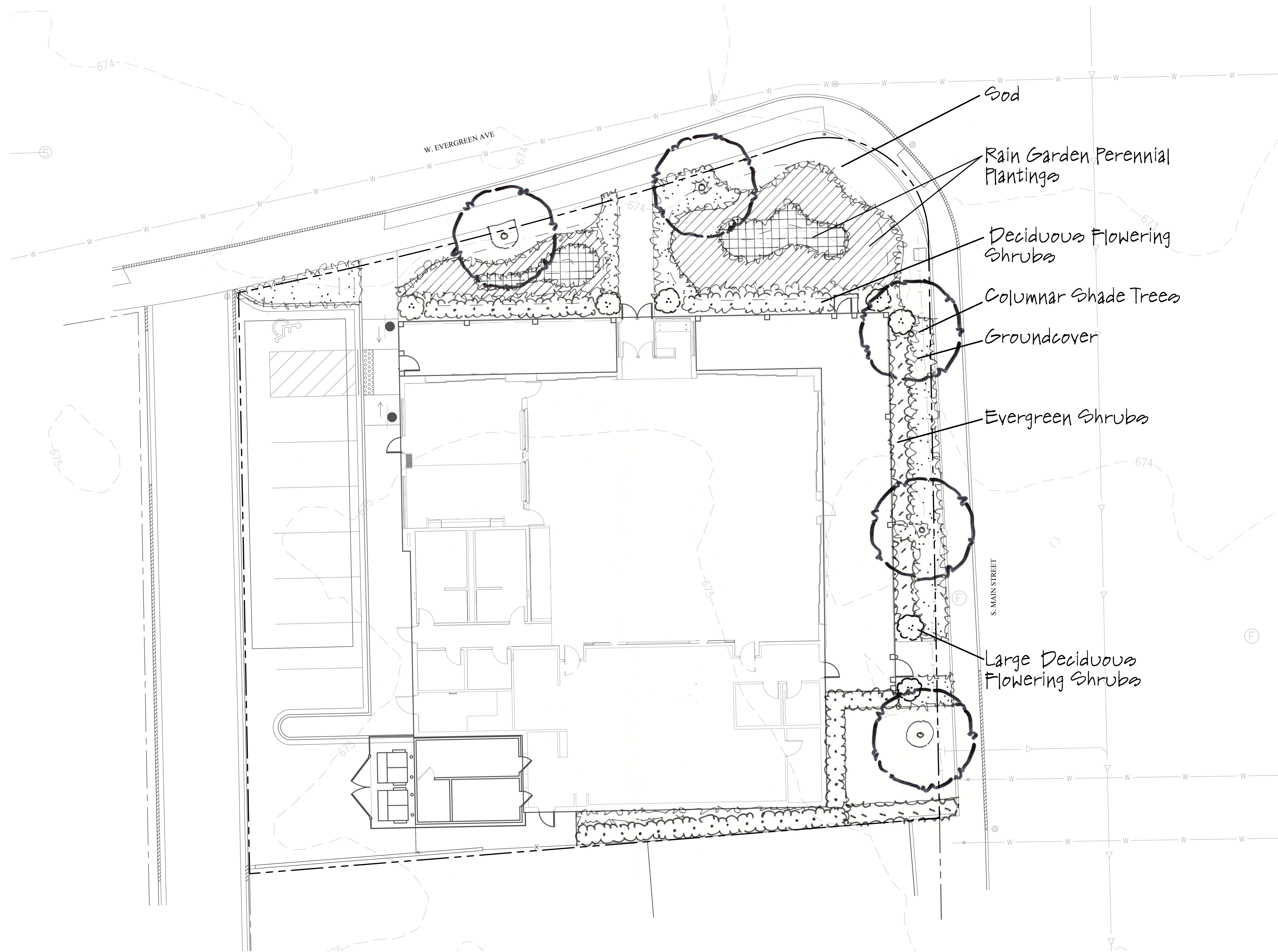
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www.jacobandhefner.com




H710
N.T.S.
C8

12/19/25
1 PERMIT SET
No. Description

A. REFERENCED SPECIFICATIONS	B. NOTIFICATIONS	C. GENERAL NOTES	D. SANITARY SEWER	E. EROSION AND SEDIMENT CONTROL																																																																																														
<p>1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:</p> <p>1.1. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION.</p> <p>1.2. STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION;</p> <p>1.3. VILLAGE OF MOUNT PROSPECT MUNICIPAL CODES;</p> <p>1.4. THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;</p> <p>1.5. IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.</p>	<p>1. THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-588-4055).</p> <p>2. THE VILLAGE OF MOUNT PROSPECT ENGINEERING DEPARTMENTS AND PUBLIC WORKS DEPARTMENTS MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.</p> <p>3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.L.E. AT 1-800-892-0123.</p>	<p>1. ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM (NAVD 88).</p> <p>2. MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.</p> <p>3. THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.</p> <p>4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.</p> <p>5. THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENTED TO THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.</p> <p>6. ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.</p> <p>7. MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.</p> <p>8. THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.</p> <p>9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.</p> <p>10. RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-BOXES, TEES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.</p>	<p>1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.</p> <p>2. A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.</p> <p>3. DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.</p> <p>4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).</p> <p>5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.</p> <p>6. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.</p> <p>7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:</p> <table border="1" data-bbox="1770 388 2258 633"> <thead> <tr> <th>PIPE MATERIAL</th> <th>PIPE SPECIFICATIONS</th> <th>JOINT SPECIFICATIONS</th> </tr> </thead> <tbody> <tr> <td>VITRIFIED CLAY PIPE</td> <td>ASTM C-700</td> <td>ASTM C-425</td> </tr> <tr> <td>REINFORCED CONCRETE SEWER PIPE</td> <td>ASTM C-76</td> <td>ASTM C-443</td> </tr> <tr> <td>CAST IRON SOIL PIPE</td> <td>ASTM A-74</td> <td>ASTM C-564</td> </tr> <tr> <td>DUCTILE IRON PIPE</td> <td>ANSI A21.51</td> <td>ANSI A21.11</td> </tr> <tr> <td>POLYVINYL CHLORIDE (PVC) PIPE</td> <td></td> <td></td> </tr> <tr> <td>6-INCH TO 15-INCH DIAMETER SDR 26</td> <td>ASTM D-3034</td> <td>ASTM D-3212</td> </tr> <tr> <td>18-INCH TO 27-INCH DIAMETER F/D1=46</td> <td>ASTM F-679</td> <td>ASTM D-3212</td> </tr> <tr> <td>HIGH DENSITY POLYETHYLENE (HDPE)</td> <td></td> <td></td> </tr> <tr> <td>4-INCH TO 36-INCH</td> <td>ASTM D-3350</td> <td>ASTM D-3261, F-2620 (HEAT FUSION)</td> </tr> <tr> <td>4-INCH TO 12-INCH</td> <td>ASTM D-3035</td> <td>ASTM D-3212, F-477 (GASKETED)</td> </tr> <tr> <td>14-INCH TO 48-INCH</td> <td>ASTM D-2241</td> <td>ASTM D-3139</td> </tr> <tr> <td></td> <td>AWWA C902</td> <td>ASTM D-3219</td> </tr> <tr> <td></td> <td>AWWA C905</td> <td>ASTM D-3219</td> </tr> </tbody> </table> <p>THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.</p> <table border="1" data-bbox="1770 694 2258 786"> <thead> <tr> <th>PIPE MATERIAL</th> <th>PIPE SPECIFICATIONS</th> <th>JOINT SPECIFICATIONS</th> </tr> </thead> <tbody> <tr> <td>POLYPROPYLENE (PP) PIPE</td> <td></td> <td></td> </tr> <tr> <td>12-INCH TO 24-INCH DOUBLE WALL</td> <td>ASTM F-2736</td> <td>ASTM D-3212, F-477</td> </tr> <tr> <td>30-INCH TO 60-INCH TRIPLE WALL</td> <td>ASTM F-2764</td> <td>ASTM D-3212, F-477</td> </tr> </tbody> </table> <p>8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.</p> <p>9. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.</p> <p>10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.</p> <p>11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:</p> <p>11.a. A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB-WYE SADDLE OR HUB-TEE SADDLE.</p> <p>11.b. REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.</p> <p>11.c. WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.</p> <p>12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMANS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATERMAIN, THE SEWER SHALL BE CONSTRUCTED TO WATERMAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATERMAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.</p> <p>13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.</p> <p>14. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.</p> <p>15. ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.</p> <p>16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.</p> <p>17. EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.</p> <p>18. A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCE SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.</p>	PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS	VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425	REINFORCED CONCRETE SEWER PIPE	ASTM C-76	ASTM C-443	CAST IRON SOIL PIPE	ASTM A-74	ASTM C-564	DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11	POLYVINYL CHLORIDE (PVC) PIPE			6-INCH TO 15-INCH DIAMETER SDR 26	ASTM D-3034	ASTM D-3212	18-INCH TO 27-INCH DIAMETER F/D1=46	ASTM F-679	ASTM D-3212	HIGH DENSITY POLYETHYLENE (HDPE)			4-INCH TO 36-INCH	ASTM D-3350	ASTM D-3261, F-2620 (HEAT FUSION)	4-INCH TO 12-INCH	ASTM D-3035	ASTM D-3212, F-477 (GASKETED)	14-INCH TO 48-INCH	ASTM D-2241	ASTM D-3139		AWWA C902	ASTM D-3219		AWWA C905	ASTM D-3219	PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS	POLYPROPYLENE (PP) PIPE			12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	ASTM D-3212, F-477	30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	ASTM D-3212, F-477	<p>1. THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.</p> <p>2. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.</p> <p>3. ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.</p> <p>4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.</p> <p>5. INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:</p> <p>5.a. UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.</p> <p>5.b. ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.</p> <p>6. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.</p> <p>7. A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.</p> <p>8. CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.</p> <p>9. MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.</p> <p>10. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.</p> <p>11. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.</p> <p>12. ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).</p> <p>13. VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.</p> <p>14. SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.</p> <p>15. EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.</p> <p>16. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.</p> <p>17. THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.</p> <p>18. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.</p> <p>19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMANS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.</p> <p>20. ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.</p> <p>21. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.</p> <p>22. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.</p> <p>23. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. 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			Date																																																																																															
			1 PERMIT SET																																																																																															
			No.																																																																																															
<p>MWRD GENERAL NOTES AND SPECIFICATIONS</p> <p>FATPOUR TAP WORKS</p> <p>ARIA GROUP</p> <p>MOUNT PROSPECT, ILLINOIS</p>	 <p>JACOB &amp; HEFNER ASSOCIATES</p> <p>1335 Butterfield Rd, Suite 300, Downers Grove, IL 60515</p> <p>PHONE: (630) 652-4600, FAX: (630) 652-4601</p> <p>www.jacobandhefner.com</p>																																																																																																	
H710	N.T.S.	C9	Page 81 of 128																																																																																															

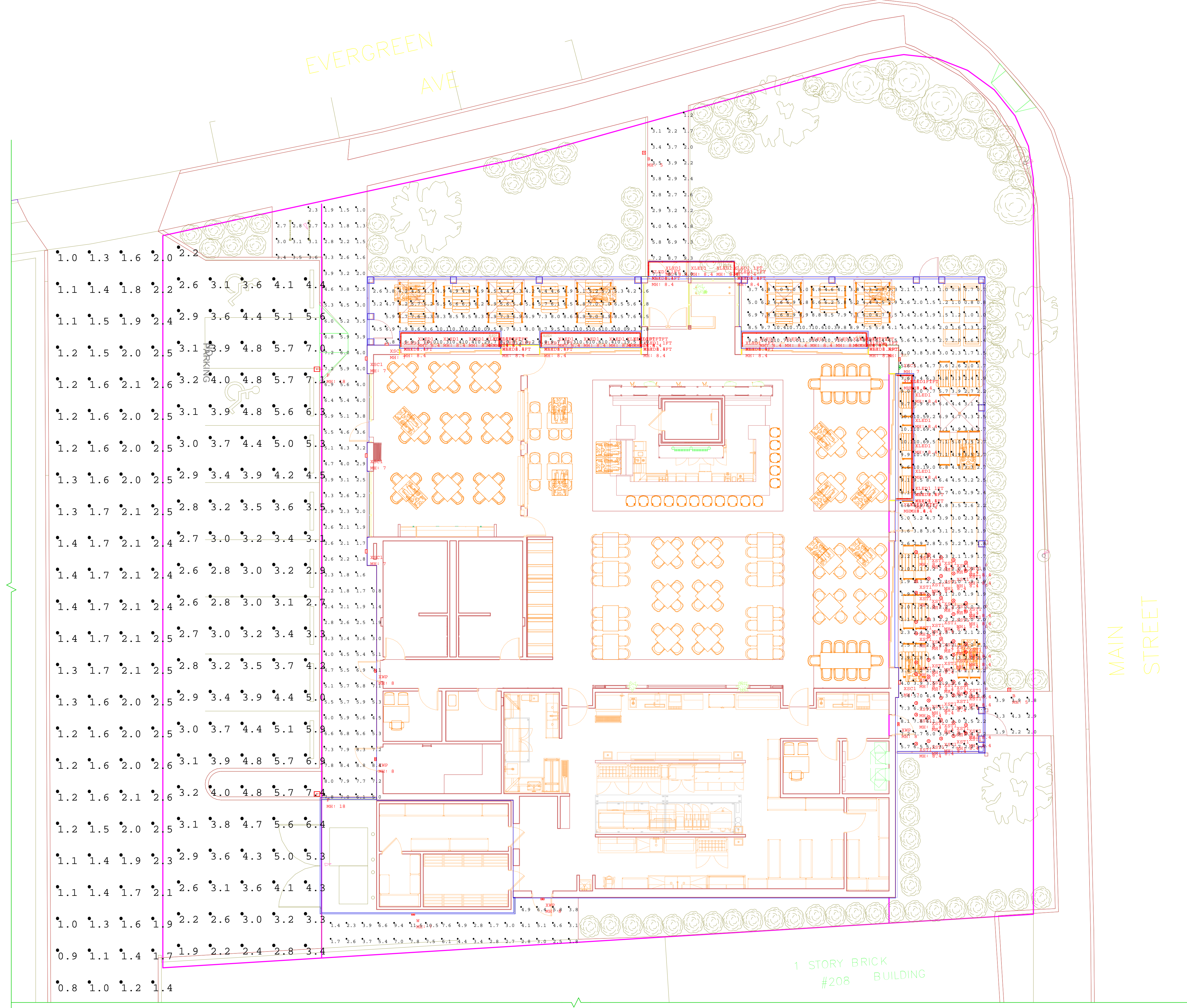


LANDSCAPE PLAN		12/19/25	
FATPOUR TAP WORKS		Description	
ARIA GROUP		No.	
MOUNT PROSPECT, ILLINOIS		1 PERMIT SET	
<b>JACOB &amp; HEFNER ASSOCIATES</b> 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515 PHONE: (630) 652-4600, FAX: (630) 652-4601 www.jacobandhefner.com		Date	
 <b>GARY R. WEBER ASSOCIATES, INC.</b> LAND PLANNING ECOLOGICAL CONSULTING LANDSCAPE ARCHITECTURE 402 WEST LIBERTY DRIVE WHEATON, ILLINOIS 60157 PHONE: 630-668-7197		H710 L1.1 1" = 10'	

Symbol	Qty	Label	LLF	Description	Lum. Lumens	Lum. Watts
	2	B	0.903	GARDCO - PBL-14L-100-NW-G2-3-UNV	492	6.1
	2	P	0.903	GARDCO - GL18-4-105LA-4870-NW	12802	105
	1	W	0.903	GARDCO - 101L-16L-200-NW-G2-2	1567	12
	17	XLED1	0.903	LUMINII - MKW-48-30K-72VHO-F	707	22.7
	33	XLED1 1FT	0.226	LUMINII - MKW-12-30K-72VHO-F	707	22.7
	7	XSC1	0.903	WAC LTG - WS-W82522	400	20.3545
	50	XST1	0.271	AMERICAN LIGHTING -LSM BK PG50 E26 WW LS SHADE DLX 6 1.4W 36 LUMENS	122	1.4
	4	XWP	0.903	INDUSTRIAL LTG - OWS2-1L-U-30-DS (Full-Cutoff)	901	7.79

ALL CALCULATION POINTS AT GROUND  
 CALCULATION POINTS AT 2.5' O.C. ON WALKWAYS  
 CALCULATION POINTS AT 5' O.C. IN ALLEY/PARKING  
 REFLECTANCES ARE .50

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALLEY	Illuminance	Fc	1.74	2.6	0.8	2.18	3.25
BIKE RACK AND WALKWAY	Illuminance	Fc	4.23	8.8	0.8	5.29	11.00
FRONT DOOR PATH	Illuminance	Fc	4.40	9.3	1.2	3.67	7.75
KITCHEN EXIT	Illuminance	Fc	4.68	11.5	1.4	3.34	8.21
NORTH EAST PATIO SEATING	Illuminance	Fc	4.39	11.0	0.7	6.27	15.71
PARKING	Illuminance	Fc	3.87	7.4	1.9	2.04	3.89
SOUTH PATIO PATH	Illuminance	Fc	3.13	4.3	1.9	1.65	2.26
WEST PATIO SEATING	Illuminance	Fc	7.30	10.6	2.6	2.81	4.08



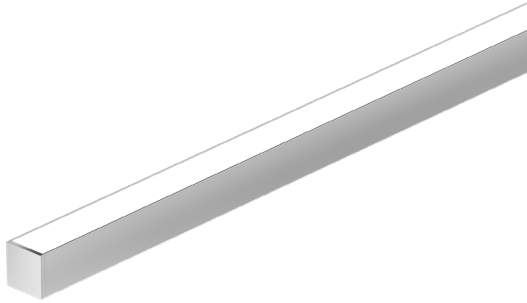
**Disclaimer:** These calculations are based on the provided specifications provided for this project. Actual measured values may differ from forecasted results due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and varying conditions and improper or unadmitted lamp burn-in procedures. Further, room dimensions, reflectances, furniture and architectural elements within the space may significantly affect calculations. Applicable lighting codes is not our responsibility, and shall be the responsibility of the architect, owner, or owners representative, as applicable. Please refer to Luminaire Schedule for light fixture factor (LFF) values used in this calculation.

Rev. #	Description	Rev. Date
R1		
R2		
R3		
R4		
R5		

**Project:** FATOUR MOUNT PROSPECT  
**Account:** ARAB  
**Architect:** ROBIN GOETZ  
**Specifier:** CED NATIONAL ACCOUNTS

**CED NATIONAL ACCOUNTS**  
**DESIGN SOLUTIONS**

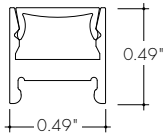
**Features**



- 24VDC Class 2 and IP68 rated for wet locations, fixtures made to order up to 144". Fixtures can be linked up to 48' depending on output
- Suitable for undercabinet, millwork, direct view, grazer, vanity, architectural reveals, accent lighting and surface mount applications
- Dot free even illumination with frosted lens and high color outputs
- High Color Quality options offer premium quality and vibrant colors with R9 values up to 97
- High Efficacy options offer best in class output and efficacy with over 425 lm/ft and up to 76 lm/W
- Proprietary strong bond solder method handles up to 50 lbs of pull force on wire leads and connectors
- 3 Year warranty

**Finish Options** (see page 3 for additional information)

- Base  Silver Anodized
- Powder Coat  Black  Bronze  White
- Premium  Matte Black  Warm Nickel  Aged Brass  Polished Gold  Chrome



**Technical Information**

TYPE	High Color Quality			High Efficacy			
	72SO	72HO	72VHO	HE48LO	HE48SO	HE48MO	HE48HO
<b>OUTPUT OPTIONS</b>							
Lumens Output (3000K) <small>(with a Clear Lens)</small>	148 lm/ft	241 lm/ft	293 lm/ft	144 lm/ft	200 lm/ft	267 lm/ft	428 lm/ft
Average Power Consumption <small>(for a 4' section)</small>	2.8 W/ft	4.8 W/ft	6 W/ft	1.9 W/ft	2.8 W/ft	3.5 W/ft	6.5 W/ft
Efficacy	53 lm/W	50 lm/W	49 lm/W	76 lm/W	71 lm/W	76 lm/W	66 lm/W
Max Run Length <small>(in series)</small>	40 ft	31 ft	22 ft	48 ft	42 ft	33 ft	21 ft
Ambient Operating Temperature Range*	-15°F - 125°F <small>(-25°C - 50°C)</small>		-15°F - 115°F <small>(-25°C - 45°C)</small>	-15°F - 125°F <small>(-25°C - 50°C)</small>			-15°F - 115°F <small>(-25°C - 45°C)</small>

\*Ambient Operating Temperature Range to maintain L70 of 50k+ hours in normal mounting conditions for the fixture. Exceeding Ambient Operating Temperature Range may result in decreased life/output. Consult Technical Support for specific inquiries.

**High Color Quality (72)**

CCT	Multiplier <small>(reference - 3000K)</small>	CRI	TM-30		
			R <sub>f</sub>	R <sub>g</sub>	R <sub>9</sub>
2700K	0.97	97	96	99	93
3000K	1.00	96	95	99	92
3500K	1.01	96	95	100	94
4000K	1.34	97	96	102	92

**High Efficacy (HE48)**

CCT	Multiplier <small>(reference - 3000K)</small>	CRI	TM-30		
			R <sub>f</sub>	R <sub>g</sub>	R <sub>9</sub>
2700K	0.94	92	90	99	46
3000K	1.00	92	89	99	62
3500K	1.02	92	89	99	58
4000K	1.02	92	86	94	52

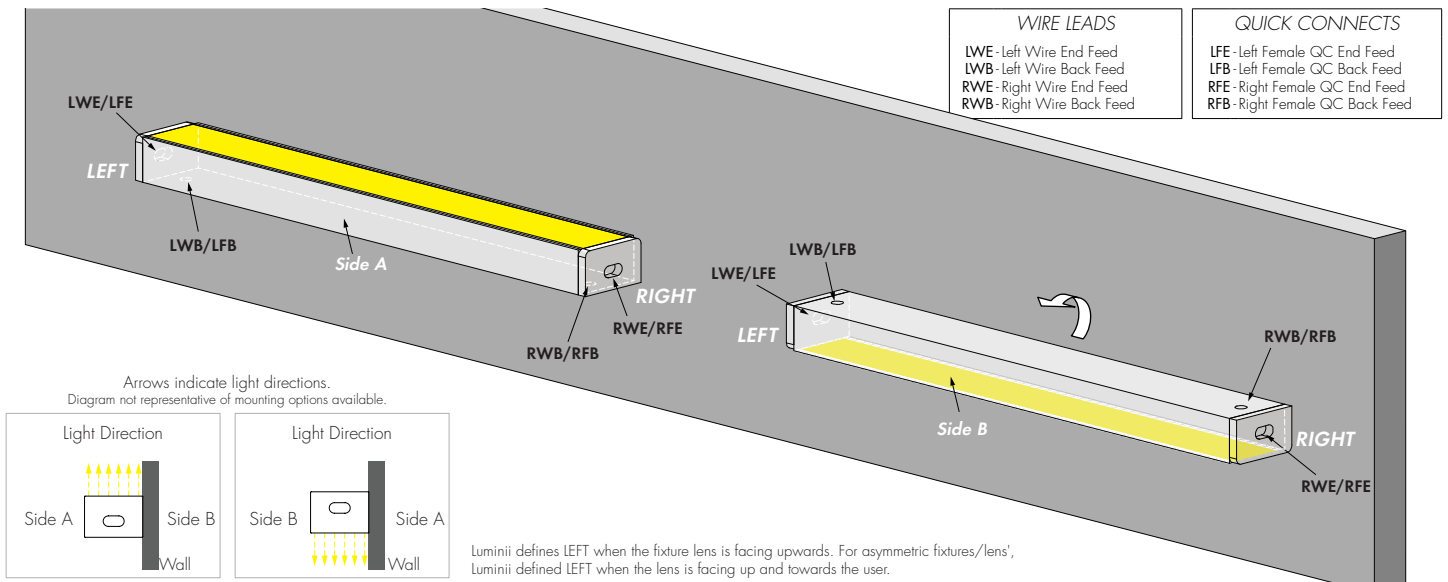
**Ordering Code**

MODEL	LENGTH <sup>1</sup>	OUTPUT <sup>2</sup>	CCT	LENS	MOUNTING	FINISH <sup>3</sup>	FEED POSITION LEFT <sup>5</sup>	FEED POSITION RIGHT <sup>5</sup>
MKW - Myka Wet	12"-144" 1" increments	72SO - Standard 72HO - High 72VHO - Very High	27K - 2700K 30K - 3000K 35K - 3500K 40K - 4000K	C - Clear F - Frosted	CB - Concealed Bracket A - Adjustable Hinge Mounting	<b>BASE</b> SA - Silver Anodized  <b>POWDER COAT</b> BK - Black BZ - Bronze WH - White	<b>WIRE LEADS (72")</b> LWE - Wire End Feed LWB - Wire Back Feed LNPF - No Power Feed	<b>WIRE LEADS (72")</b> RWE - Wire End Feed RWB - Wire Back Feed RNPF - No Power Feed
	12"-144" 2" increments	HE48LO - Low HE48SO - Standard HE48MO - Medium HE48HO - High	27K - 2700K 30K - 3000K 35K - 3500K 40K - 4000K			<b>PREMIUM</b> MBK - Matte Black WN - Warm Nickel AB - Aged Brass PG - Polished Gold <sup>4</sup> CH - Chrome <sup>4</sup>	<b>QUICK CONNECTS (6")</b> LFE - Female Q/C, End Feed LFB - Female Q/C, Back Feed LNPF - No Power Feed	<b>QUICK CONNECTS (6")</b> RFE - Female Q/C, End Feed RFB - Female Q/C, Back Feed RNPF - No Power Feed

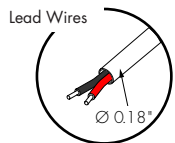
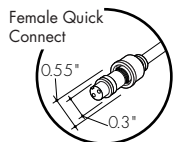
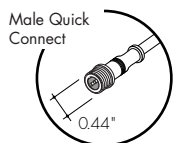
1 - Custom lengths and increments are available, please consult Inside Sales with specific request.  
 2 - All High Efficacy options can be used to comply with Title 24 JAB. High Color Quality options can be used to comply with Title 24 JAB depending on Output, CCT, and lens selections. See multiplier charts to calculate specific efficacies.  
 3 - Non Base finishes may have extended lead times and address, Custom RALs are available, please consult Inside Sales with specific request.  
 4 - Polished Gold and Chrome finishes have a maximum fixture length of 96".  
 5 - LNPF - RNPF is not a valid configuration option

# Powerfeeds and Connectors

## Power Feed Position Options and Orientation

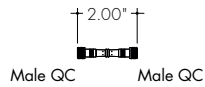


## Linking and Extension Cable Options



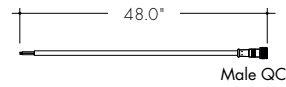
### WET-FMA-2-2

Female to Male Adapter, 2 pin



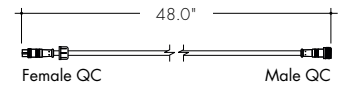
### WET-CON-LEAD-M-2-48

Male Wet Connector Cable, 2 pin, 48"

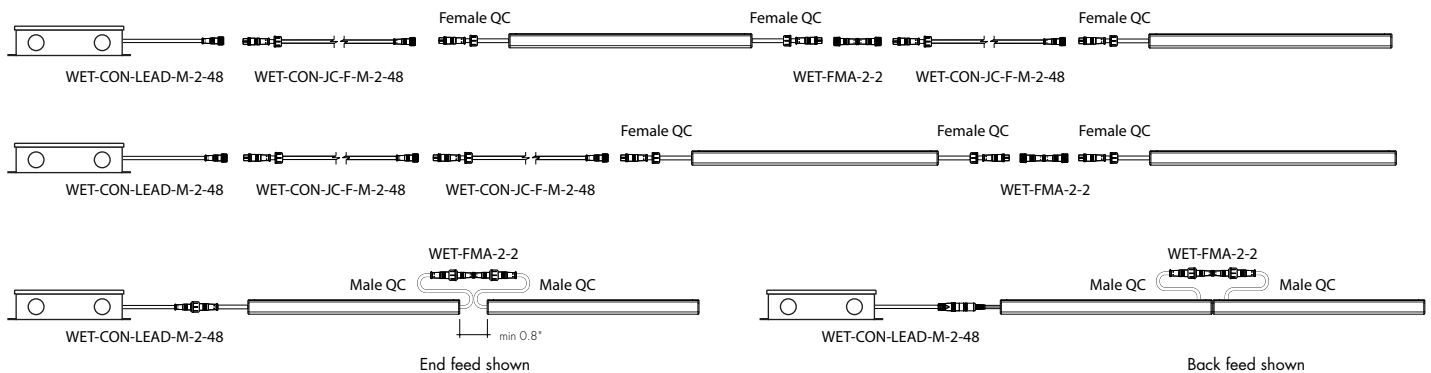


### WET-CON-JC-F-M-2-48

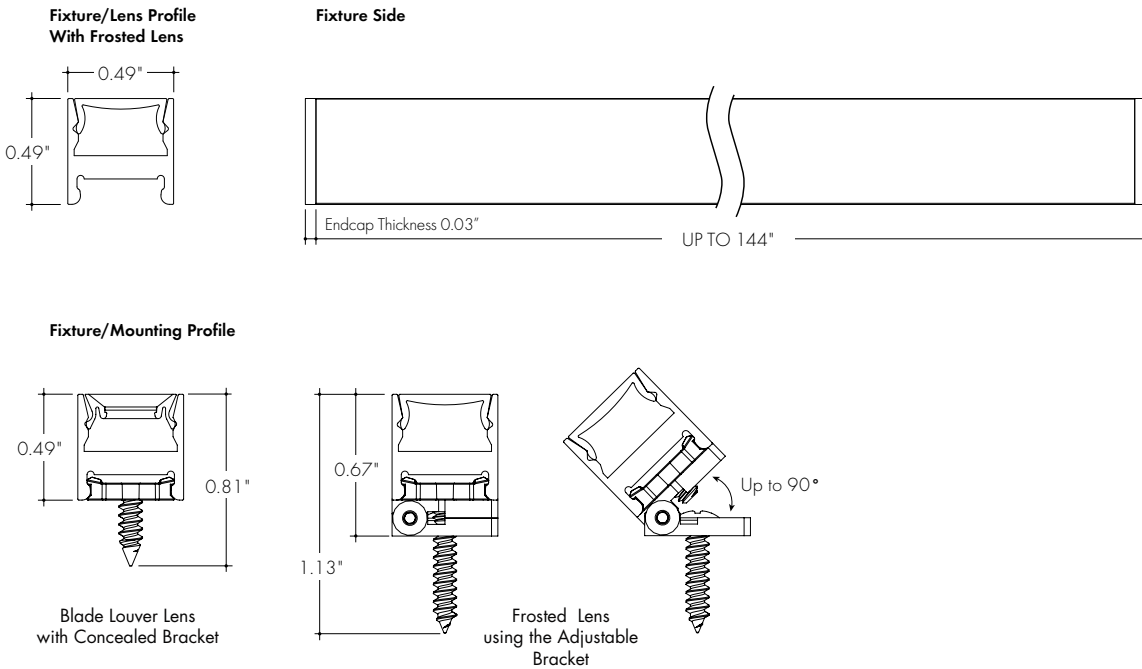
Female/Male Wet Jumper Cable, 2 pin, 48"



## Sample Layout



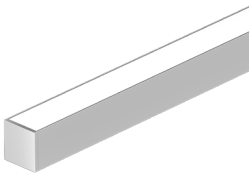
## Product Dimensions



## Finish Options

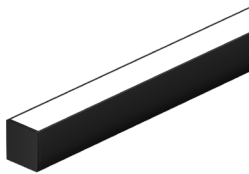
- Finish options are available in a wide variety, allowing for complete customization of style and aesthetic.
- Non Base finishes may have extended lead times and price adder.
- Polished Gold and Chrome finishes have a maximum fixture length of 96".
- Custom RALs are available, please consult Inside Sales with specific request.

**Silver Anodized Base**



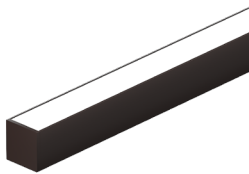
Silver Anodized is a soft silver with a clear finish.

**Black Powder Coat**



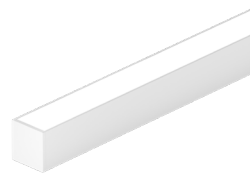
Black is a true deep black with a glossy finish.

**Bronze Powder Coat**



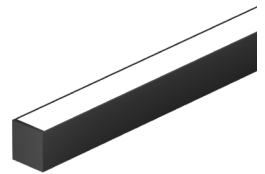
Bronze is a rich, dark brown with a satin finish.

**White Powder Coat**



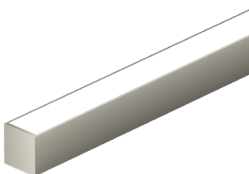
White is a polar bright white and field paintable.

**Matte Black Premium**



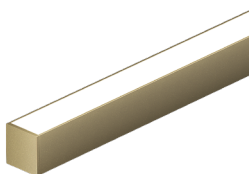
Matte Black is a dark, pitch-black with a soft flat finish.

**Warm Nickel Premium**



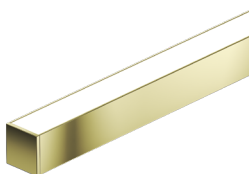
Warm Nickel is a soft, silvery smoke with warm tones and a satin finish.

**Aged Brass Premium**



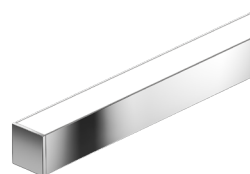
Aged Brass is a deep brown shade with slightly golden undertones.

**Polished Gold Premium**



Polished Gold is bright and radiant for a brilliant finish.

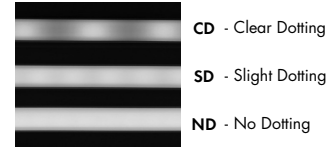
**Chrome Premium**



Chrome is a highly reflective silver polish.

# Light Transmission and Dotting

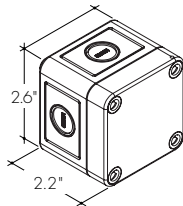
Output Options	Lens/Accessory							
	Clear Lens				Frosted Lens			
Dimming Level	100%	50%	10%	1%	100%	50%	10%	1%
72SO	CD	CD	CD	CD	ND	ND	ND	SD
72HO	CD	CD	CD	CD	ND	ND	ND	SD
72VHO	CD	CD	CD	CD	ND	ND	ND	SD
HE48LO	CD	CD	CD	CD	ND	SD	SD	CD
HE48SO	CD	CD	CD	CD	ND	SD	SD	CD
HE48MO	CD	CD	CD	CD	ND	SD	SD	CD
HE48HO	CD	CD	CD	CD	ND	SD	SD	CD
<b>Transmission Percentage</b>	100%				58%			



## Accessory Options

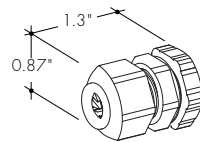
### LVSP-WET

Splice box: wet rated, low voltage, gray



### LVSP-WET-CM

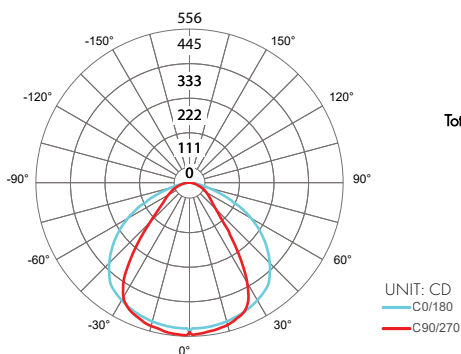
Connector for splice box, low voltage for cable management, gray.



## Photometry

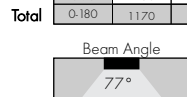
### MKW-48-72VHO-30K-C

Myka Surface Wet, 4ft, 72VHO, 3000K, Clear Lens



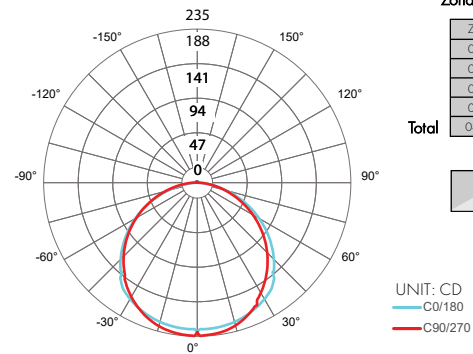
### Zonal Lumen Summary 3000K

Zone	Lumen	% Fixture
0-30	404	34.5%
0-40	655	56.0%
0-60	1014	86.7%
0-90	1156	98.8%
0-180	1170	100%



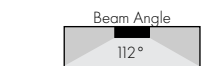
### MKW-48-72VHO-30K-F

Myka Surface Wet, 4ft, 72VHO, 3000K, Half-Frosted Lens



### Zonal Lumen Summary 3000K

Zone	Lumen	% Fixture
0-30	175	25.8%
0-40	291	42.8%
0-60	522	76.8%
0-90	672	98.8%
0-180	680	100%



## Power Consumption

Tested at Full Power with PS-UNI Series power supplies.

Standard Nominal Lengths offered provide minimal shadowing. For alternate lengths, please consult Inside Sales with specific request.

### High Color Quality (72)

Nominal Length (in)	Actual Length	Watts			Nominal Length (in)	Actual Length	Watts			Nominal Length (in)	Actual Length	Watts			Nominal Length (in)	Actual Length	Watts		
		SO	HO	VHO			SO	HO	VHO			SO	HO	VHO			SO	HO	VHO
12	11 4/16	2.7	4.4	6.2	47	–	–	–	–	82	81 14/16	18.3	29.5	38.4	117	116 10/16	25.9	40.8	52.4
13	12 6/16	2.7	4.4	6.2	48	47 2/16	10.5	17.4	23.1	83	–	–	–	–	118	117 12/16	26.1	41.1	52.8
14	13 9/16	2.9	4.8	6.7	49	48 5/16	10.7	17.8	23.5	84	83	18.5	29.8	38.8	119	118 15/16	26.3	41.4	53.2
15	14 11/16	3.1	5.2	7.3	50	49 7/16	11.1	18.6	24.4	85	84 3/16	18.7	30.1	39.2	120	–	–	–	–
16	15 14/16	3.4	5.6	7.8	51	50 10/16	11.4	18.9	24.9	86	85 5/16	19.2	30.8	40.0	121	120 1/16	26.5	41.7	53.6
17	–	–	–	–	52	51 12/16	11.6	19.3	25.3	87	86 8/16	19.4	31.1	40.4	122	121 4/16	26.7	42.0	54.0
18	17	3.6	6.0	8.3	53	52 15/16	11.9	19.7	25.7	88	87 10/16	19.6	31.5	40.8	123	122 6/16	27.1	42.6	54.7
19	18 3/16	3.9	6.5	8.9	54	–	–	–	–	89	88 13/16	19.9	31.8	41.1	124	123 9/16	27.3	42.9	55.0
20	19 5/16	4.4	7.3	9.9	55	54 1/16	12.1	20.1	26.1	90	90	20.1	32.2	41.5	125	124 11/16	27.5	43.1	55.4
21	20 8/16	4.6	7.7	10.5	56	55 4/16	12.3	20.5	26.6	91	–	–	–	–	126	125 14/16	27.7	43.4	55.7
22	21 10/16	4.8	8.1	11.0	57	56 6/16	12.8	21.3	27.4	92	91 2/16	20.4	32.5	41.9	127	–	–	–	–
23	22 13/16	5.1	8.6	11.5	58	57 9/16	13.1	21.6	27.8	93	92 5/16	20.6	32.9	42.3	128	127	27.9	43.7	56.1
24	24	5.3	9.0	12.1	59	58 11/16	13.3	22.0	28.3	94	93 7/16	21.1	33.6	43.1	129	128 3/16	28.1	43.9	56.4
25	–	–	–	–	60	59 14/16	13.6	22.4	28.7	95	94 10/16	21.3	33.9	43.4	130	129 5/16	28.5	44.5	57.1
26	25 2/16	5.6	9.4	12.6	61	–	–	–	–	96	95 12/16	21.5	34.2	43.8	131	130 8/16	28.7	44.7	57.4
27	26 5/16	5.8	9.8	13.1	62	61	13.8	22.8	29.1	97	96 15/16	21.8	34.6	44.2	132	131 11/16	28.9	45.0	57.8
28	27 7/16	6.2	10.5	14.1	63	62 3/16	14.0	23.1	29.6	98	–	–	–	–	133	132 13/16	29.1	45.3	58.1
29	28 10/16	6.5	10.9	14.5	64	63 5/16	14.5	23.8	30.5	99	98 1/16	22.0	34.9	44.6	134	134	29.3	45.5	58.4
30	29 12/16	6.7	11.2	15.0	65	64 8/16	14.7	24.1	31.0	100	99 4/16	22.2	35.2	45.0	135	–	–	–	–
31	30 15/16	6.9	11.6	15.5	66	65 10/16	14.9	24.4	31.4	101	100 6/16	22.5	35.9	45.9	136	135 2/16	29.5	45.7	58.7
32	–	–	–	–	67	66 13/16	15.1	24.7	31.9	102	101 9/16	22.7	36.2	46.3	137	136 5/16	29.6	45.9	59.1
33	32 1/16	7.1	12.0	16.0	68	68	15.3	25.0	32.4	103	102 11/16	22.9	36.5	46.7	138	137 7/16	30.0	46.3	59.7
34	33 4/16	7.3	12.3	16.5	69	–	–	–	–	104	103 14/16	23.1	36.8	47.1	139	138 10/16	30.2	46.5	60.0
35	34 6/16	7.8	13.1	17.4	70	69 2/16	15.5	25.4	32.8	105	–	–	–	–	140	139 12/16	30.3	46.8	60.3
36	35 9/16	8.0	13.4	17.9	71	70 5/16	15.8	25.7	33.3	106	105	23.3	37.1	47.5	141	140 15/16	30.5	47.0	60.6
37	36 11/16	8.2	13.8	18.4	72	71 7/16	16.2	26.3	34.2	107	106 3/16	23.5	37.4	48.0	142	–	–	–	–
38	37 14/16	8.4	14.2	18.9	73	72 10/16	16.4	26.6	34.7	108	107 5/16	23.9	38.1	48.8	143	142 1/16	30.7	47.2	61.0
39	–	–	–	–	74	73 12/16	16.6	26.9	35.1	109	108 8/16	24.1	38.4	49.2	144	143 4/16	30.8	47.4	61.3
40	39	8.7	14.5	19.3	75	74 15/16	16.8	27.3	35.5	110	109 11/16	24.3	38.7	49.6					
41	40 3/16	8.9	14.9	19.8	76	–	–	–	–	111	110 13/16	24.5	39.0	50.0					
42	41 5/16	9.3	15.6	20.7	77	76 1/16	17.1	27.6	35.9	112	112	24.8	39.3	50.4					
43	42 8/16	9.6	16.0	21.2	78	77 4/16	17.3	27.9	36.3	113	–	–	–	–					
44	43 10/16	9.8	16.4	21.7	79	78 6/16	17.7	28.5	37.2	114	113 2/16	25.0	39.6	50.8					
45	44 13/16	10.0	16.7	22.1	80	79 9/16	17.9	28.9	37.6	115	114 5/16	25.2	39.9	51.2					
46	46	10.2	17.1	22.6	81	80 11/16	18.1	29.2	38.0	116	115 7/16	25.6	40.5	52.0					

## Power Consumption

Tested at Full Power with PS-UNI Series power supplies.

Standard Nominal Lengths offered provide minimal shadowing. For alternate lengths, please consult Inside Sales with specific request.

### High Efficacy (HE48)

Nominal Length (in)	Actual Length	Watts				Nominal Length (in)	Actual Length	Watts				Nominal Length (in)	Actual Length	Watts				Nominal Length (in)	Actual Length	Watts			
		LO	SO	MO	HO			LO	SO	MO	HO			LO	SO	MO	HO			LO	SO	MO	HO
12	10 13/16	1.7	2.5	3.5	5.7	47	46 13/16	6.9	10.7	13.3	24.7	82	—	—	—	—	117	116 13/16	17.3	27.3	33.7	57.9	
13	12 13/16	1.7	2.5	3.5	5.7	48	—	—	—	—	—	83	82 13/16	12.5	19.9	23.9	42.2	118	—	—	—	—	
14	—	—	—	—	—	49	48 13/16	7.1	11.2	13.9	25.4	84	—	—	—	—	119	118 13/16	17.5	27.7	34.3	58.7	
15	14 13/16	2.0	3.0	4.0	7.2	50	—	—	—	—	—	85	84 13/16	12.8	20.3	24.5	43.1	120	—	—	—	—	
16	—	—	—	—	—	51	50 13/16	7.4	11.7	14.5	26.3	86	—	—	—	—	121	120 13/16	17.8	28.1	34.9	59.6	
17	16 13/16	2.4	3.5	4.6	8.7	52	—	—	—	—	—	87	86 13/16	13.1	20.8	25.1	44.1	122	—	—	—	—	
18	—	—	—	—	—	53	52 13/16	7.7	12.3	15.1	27.4	88	—	—	—	—	123	122 13/16	18.1	28.6	35.5	60.5	
19	18 13/16	2.7	3.9	5.2	10.2	54	—	—	—	—	—	89	88 13/16	13.4	21.3	25.7	45.0	124	—	—	—	—	
20	—	—	—	—	—	55	54 13/16	8.0	12.9	15.7	28.5	90	—	—	—	—	125	124 13/16	18.3	29.0	36.0	62.1	
21	20 13/16	3.0	4.4	5.8	11.7	56	—	—	—	—	—	91	90 13/16	13.7	21.7	26.3	46.0	126	—	—	—	—	
22	—	—	—	—	—	57	56 13/16	8.4	13.5	16.4	29.5	92	—	—	—	—	127	126 13/16	18.4	29.5	36.6	63.8	
23	22 13/16	3.4	4.9	6.4	13.2	58	—	—	—	—	—	93	92 13/16	14.0	22.1	26.9	47.0	128	—	—	—	—	
24	—	—	—	—	—	59	58 13/16	8.7	14.0	17.0	30.6	94	—	—	—	—	129	128 13/16	18.6	29.9	37.2	65.4	
25	24 13/16	3.7	5.4	7.0	14.7	60	—	—	—	—	—	95	94 13/16	14.3	22.6	27.5	47.9	130	—	—	—	—	
26	—	—	—	—	—	61	60 13/16	9.0	14.6	17.6	31.6	96	—	—	—	—	131	130 13/16	18.8	30.4	37.7	67.0	
27	26 13/16	4.1	5.9	7.5	15.8	62	—	—	—	—	—	97	96 13/16	14.4	22.8	27.8	48.4	132	—	—	—	—	
28	—	—	—	—	—	63	62 13/16	9.4	15.2	18.2	32.6	98	—	—	—	—	133	132 13/16	18.9	30.8	38.3	68.6	
29	28 13/16	4.4	6.4	8.1	16.8	64	—	—	—	—	—	99	98 13/16	14.7	23.3	28.5	49.4	134	—	—	—	—	
30	—	—	—	—	—	65	64 13/16	9.7	15.6	18.7	33.7	100	—	—	—	—	135	134 13/16	19.1	31.2	38.9	70.2	
31	30 13/16	4.8	6.9	8.7	17.9	66	—	—	—	—	—	101	100 13/16	15.0	23.7	29.0	50.4	136	—	—	—	—	
32	—	—	—	—	—	67	66 13/16	10.0	16.1	19.2	34.7	102	—	—	—	—	137	136 13/16	19.3	31.8	39.4	70.7	
33	32 13/16	5.0	7.2	9.0	18.5	68	—	—	—	—	—	103	102 13/16	15.3	24.1	29.6	51.3	138	—	—	—	—	
34	—	—	—	—	—	69	68 13/16	10.4	16.5	19.8	35.7	104	—	—	—	—	139	138 13/16	19.5	32.3	40.0	71.2	
35	34 13/16	5.4	7.7	9.6	19.5	70	—	—	—	—	—	105	104 13/16	15.6	24.6	30.2	52.3	140	—	—	—	—	
36	—	—	—	—	—	71	70 13/16	10.7	17.0	20.3	36.7	106	—	—	—	—	141	140 13/16	19.8	32.8	40.6	71.8	
37	36 13/16	5.7	8.2	10.2	20.6	72	—	—	—	—	—	107	106 13/16	15.8	25.0	30.7	53.2	142	—	—	—	—	
38	—	—	—	—	—	73	72 13/16	11.0	17.4	20.8	37.7	108	—	—	—	—	143	142 13/16	20.0	33.3	41.1	72.3	
39	38 13/16	6.0	8.7	10.8	21.5	74	—	—	—	—	—	109	108 13/16	16.1	25.5	31.3	54.2	144	—	—	—	—	
40	—	—	—	—	—	75	74 13/16	11.3	17.9	21.4	38.7	110	—	—	—	—	—	—	—	—	—	—	
41	40 13/16	6.2	9.2	11.4	22.3	76	—	—	—	—	—	111	110 13/16	16.4	25.9	31.9	55.2	—	—	—	—	—	
42	—	—	—	—	—	77	76 13/16	11.6	18.4	22.0	39.6	112	—	—	—	—	—	—	—	—	—	—	
43	42 13/16	6.4	9.7	12.0	23.1	78	—	—	—	—	—	113	112 13/16	16.7	26.4	32.5	56.1	—	—	—	—	—	
44	—	—	—	—	—	79	78 13/16	11.9	18.9	22.7	40.5	114	—	—	—	—	—	—	—	—	—	—	
45	44 13/16	6.7	10.2	12.6	23.9	80	—	—	—	—	—	115	114 13/16	17.0	26.8	33.1	57.0	—	—	—	—	—	
46	—	—	—	—	—	81	80 13/16	12.2	19.4	23.3	41.4	116	—	—	—	—	—	—	—	—	—	—	

## Voltage Drop Calculator

The below chart assumes nominal voltage of 24 Volts and a Voltage Drop Allowance of 3% through the wire

Wattage [W]	Maximum Wire Length From Power Supply to Start of Run [ft]						
	12 AWG	14 AWG	16 AWG	18 AWG	20 AWG	22 AWG	24 AWG
<b>5</b>	1088.2	684.4	430.3	270.6	170.2	107.1	67.3
<b>10</b>	544.1	342.2	215.1	135.3	85.1	53.5	33.7
<b>15</b>	362.7	228.1	143.4	90.2	56.7	35.7	22.4
<b>20</b>	272.0	171.1	107.6	67.7	42.6	26.8	16.8
<b>25</b>	217.6	136.9	86.1	54.1	34.0	21.4	13.5
<b>30</b>	181.4	114.1	71.7	45.1	28.4	17.8	11.2
<b>35</b>	155.5	97.8	61.5	38.7	24.3	15.3	9.6
<b>40</b>	136.0	85.5	53.8	33.8	21.3	13.4	8.4
<b>45</b>	120.9	76.0	47.8	30.1	18.9	11.9	7.5
<b>50</b>	108.8	68.4	43.0	27.1	17.0	10.7	6.7
<b>55</b>	98.9	62.2	39.1	24.6	15.5	9.7	6.1
<b>60</b>	90.7	57.0	35.9	22.6	14.2	8.9	5.6
<b>65</b>	83.7	52.6	33.1	20.8	13.1	8.2	5.2
<b>70</b>	77.7	48.9	30.7	19.3	12.2	7.6	4.8
<b>75</b>	72.5	45.6	28.7	18.0	11.3	7.1	4.5
<b>80</b>	68.0	42.8	26.9	16.9	10.6	6.7	4.2
<b>85</b>	64.0	40.3	25.3	15.9	10.0	6.3	4.0
<b>90</b>	60.5	38.0	23.9	15.0	9.5	5.9	3.7
<b>96</b>	56.7	35.6	22.4	14.1	8.9	5.6	3.5

## Power Supplies

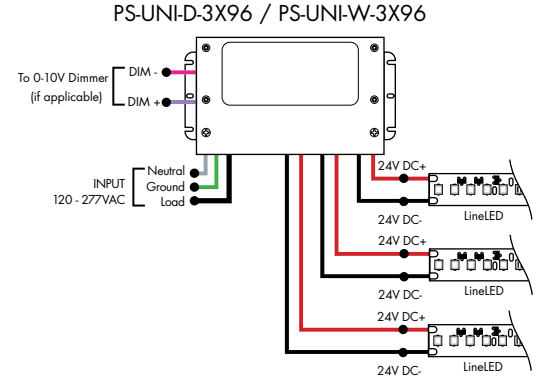
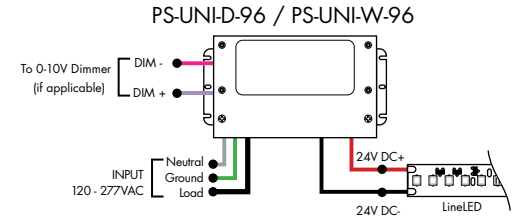
See Power Supply instructions and spec sheet for wiring information. For a complete list of compatible dimmers, see Compatible Dimming Chart on the Resources page.

### Ordering Code Universal Dimming Power Supplies 1% 120VAC - 277VAC

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
PS-Power Supply, 120-277VAC	UNI-0-10V Dimming, Phase Dimming	D-Dry W-Wet	30-30 Watts 60-60 Watts 96-96 Watts 3x96-3x96 Watts	24-24 VDC

Compatibility: View a complete list of compatible dimmers on product page [\(Link\)](#)

0-10V - 1% dimming  
MLV/ELV/TRIAC - 1% dimming, consult dimming compatibility chart



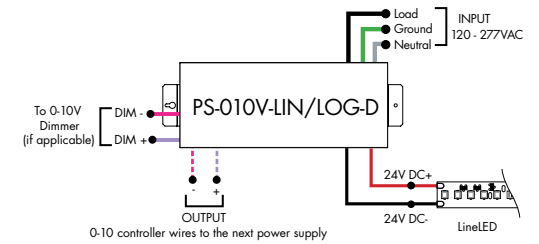
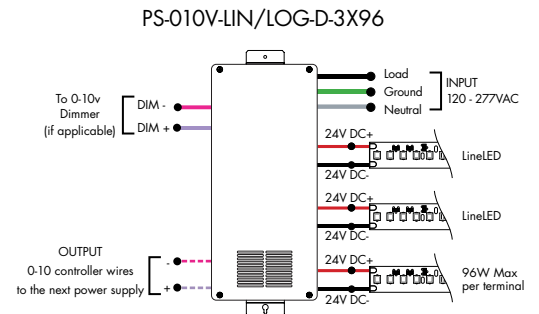
MODELS	PS-UNI-W-30W	PS-UNI-W-60W	PS-UNI-W-96W	PS-UNI-W-3X96W
Length	6.50"	7.40"	8.66"	11.85"
Width	3.73"	3.73"	3.73"	4.32"
Depth	1.61"	1.61"	1.61"	1.81"

MODELS	PS-UNI-D-30W	PS-UNI-D-60W	PS-UNI-D-96W	PS-UNI-D-3X96W
Length	8.77"	8.77"	8.11"	9.94"
Width	4.27"	4.27"	5.60"	7.61"
Depth	1.83"	1.83"	1.83"	2.02"

### Ordering Code 0-10V Dimming Power Supplies 0.1% 120VAC - 277VAC

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
PS-Power Supply, 120-277VAC	010V-LIN-0-10V Dimming (0.1%), Linear 010V-LOG-0-10V Dimming (0.1%), Logarithmic	D-Dry	96-96 Watts 3X96-3x96 Watts	24-24 VDC

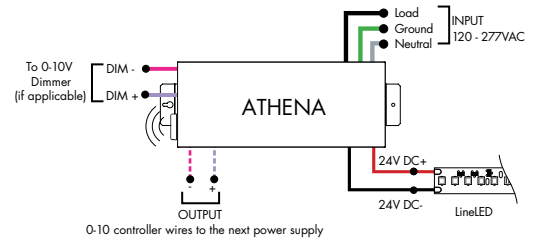
MODELS	96W	3X96
Length	14.40"	15.00"
Width	5.20"	6.62"
Depth	2.60"	4.45"



### Athena 0-10V LED Driver

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT	FEATURE
PS-Power Supply, 120-277VAC	010V-LIN-0-10V Dimming, Linear 010V-LOG-0-10V Dimming, Logarithmic	D-Dry	96-96 W	24-24 VDC	AWNR-Athena

MODELS	96W
Length	14.40"
Width	5.20"
Depth	2.60"



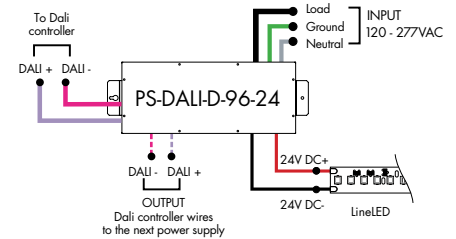
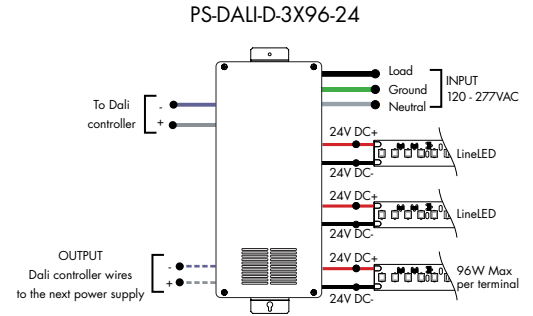
## Power Supplies

See Power Supply instructions and spec sheet for wiring information. For a complete list of compatible dimmers, see Compatible Dimming Chart on the Resources page.

### Ordering Code DALI1 Dimming Power Supplies 0.1% 120VAC - 277VAC

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
PS-Power Supply, 120-277VAC	DALI-DALI (0.1%)	D-Dry	96-96 Watts 3X96-3X96 Watts	24-24 VDC

Model	96W	3X96
Length	14.40"	15.00"
Width	5.20"	6.62"
Depth	2.60"	4.56"

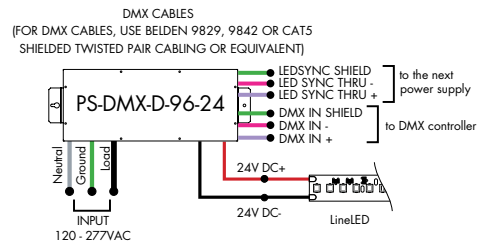
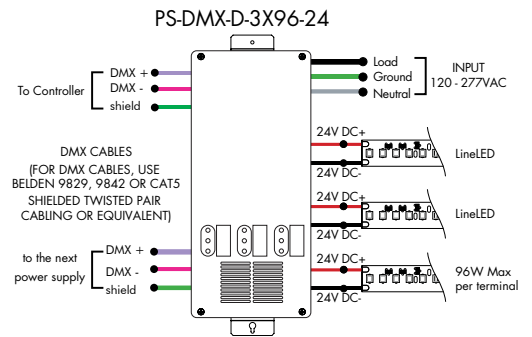


### Ordering Code DMX Dimming Power Supplies 0.1% 120VAC - 277VAC Requires Zonal Control

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
PS-Power Supply, 120-277VAC	DMX-DMX (0.1%)	D-Dry	96-96 Watts 3X96-3X96 Watts	24-24 VDC

\*Zonal control power supplies. Control multiple tapes/zones using DMX channels.

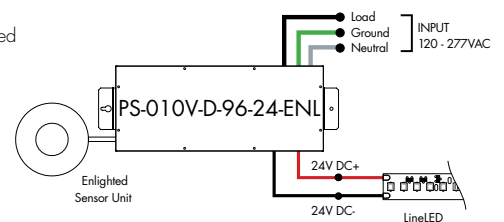
MODELS	96W	3X96
Length	14.40"	15.00"
Width	5.20"	6.62"
Depth	2.60"	4.56"



### Ordering Code Enlightened Enabled Dimming Power Supplies 1% 120VAC - 277VAC

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT	FEATURE
PS-Power Supply, 120-277VAC	010V-0-10V Dimming (1%)	D-Dry	96-96 Watts	24-24 VDC	ENL-0-10V Enlightened

Model	96W
Length	14.40"
Width	5.20"
Depth	2.60"

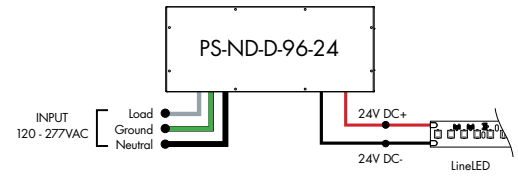


## Power Supplies

See Power Supply instructions and spec sheet for wiring information. For a complete list of compatible dimmers, see Compatible Dimming Chart on the Resources page.

### Ordering Code Non-Dimming Power Supply 120VAC - 277VAC

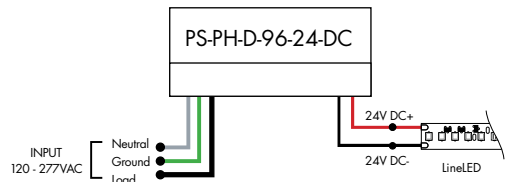
MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
PS - Power Supply, 120-277VAC	ND - Non Dimming	D - Dry	96-96 Watts	24 - 24 VDC



MODELS	96W
Length	14.40"
Width	5.20"
Depth	2.60"

### Ordering Code Phase Dimming Power Supply 1% 120VAC - 277VAC

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT	OUTPUT CONTROL
PS - Power Supply, 120-277VAC	PH - Phase Dimming (Triac, ELV, MLV)	D - Dry	96-96 Watts	24-24 VDC	DC - Direct Current



MLV/ELV/TRIAC - 1% dimming, consult dimming compatibility chart ([link](#))

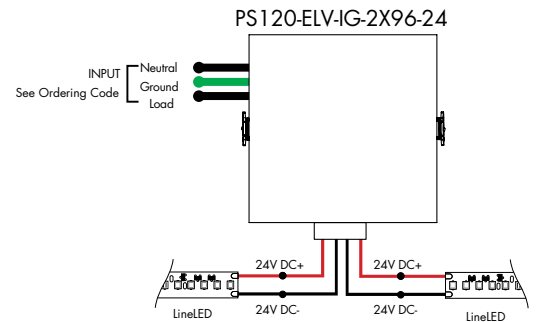
NOTE:  
OVER THE WHITE, GREEN, AND BLACK WIRES,  
CONNECT TO ELV OR MLV DIMMER

MODELS	96W
Length	8.25"
Width	4.10"
Depth	1.56"

### Ordering Code In-Ground Power Supplies

MODEL	INPUT CONTROL	ENVIRONMENT	WATTAGE	OUTPUT
PS120 - Power Supply, 120VAC PS240 - Power Supply, 240VAC PS277 - Power Supply, 277VAC	ELV - ELV Dimming (1%)	IG - In Ground	2X96-2X96 Watts	24-24 VDC

MODELS	2X96W
Length	8.40"
Width	8.30"
Depth	8.10"



## Power Supplies

See Power Supply instructions and spec sheet for wiring information. For a complete list of compatible dimmers, see Compatible Dimming Chart on the Resources page.



Luminii is a Lutron OEM Advantage Partner

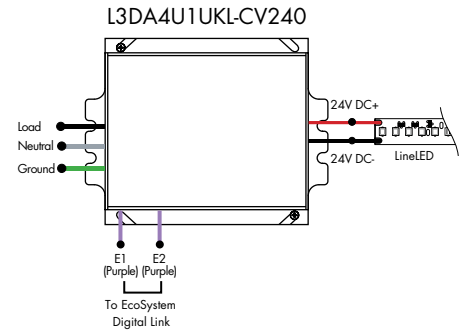
**Lutron Power Supplies 1%**

MODEL

**L3DA4U1UKL-CV240**

HiLume™ 1% EcoSystem Voltage LED driver  
40W max

MODELS	L3DA4U1UKL-CV240
<b>Length</b>	4.98"
<b>Width</b>	4.00"
<b>Depth</b>	2.62"



Luminii is a Lutron OEM Advantage Partner

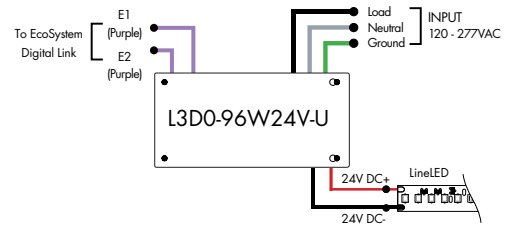
**Lutron Power Supplies 0.1%**

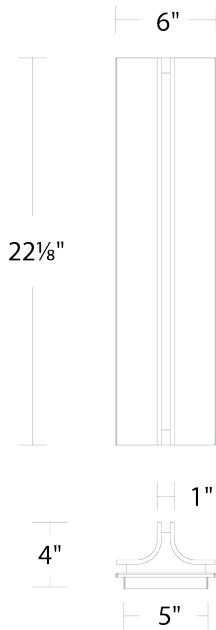
MODEL

**L3D0-96W24V-U**

HiLume™ 0.1% EcoSystem Voltage LED Driver with Soft-On, Fade-to-Black™  
96W max

MODELS	L3D0
<b>Length</b>	10.50"
<b>Width</b>	5.50"
<b>Depth</b>	2.00"





WS-82522  
WS-W82522

**AVAILABLE FINISHES:**



**PRODUCT DESCRIPTION**

The striking Strait wall sconce showcases two angled plates, elegantly divided by a white etched diffuser. Color temperature selectable LED light emanates outward in a clean, geometric glow, highlighting the fixture's modern design.

**FEATURES**

- Driver concealed within the canopy
- Front and ambient illumination
- AB (Aged Brass) finish indoor only option is available
- Built in color temperature adjustability. Switch from 2700K/3000K/3500K/4000K

**SPECIFICATIONS**

<b>Rated Life</b>	50,000 Hours
<b>Standards</b>	ETL, cETL, Wet Location Listed
<b>Input</b>	120-277 VAC, 50/60Hz
<b>Dimming</b>	ELV: 100-10%, TRIAC: 100-10%
<b>Mounting</b>	Can be mounted on wall in all orientations
<b>Color Temp</b>	2700K, 3000K, 3500K, 4000K
<b>CRI</b>	90
<b>Construction</b>	Aluminum frame with acrylic diffuser

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W82522 22"	2700K	BK Black	20.4W	1000	381
	3000K	BK Black	20.4W	1000	394
	3500K	BK Black	20.4W	1000	408
	4000K	BK Black	20.4W	1000	407

Example: **WS-W82522-40-BK**

For custom requests please contact [customs@modernforms.com](mailto:customs@modernforms.com)

Commercial E26 Medium base stringers are perfect for any outdoor patio or lighting display. Commercial grade stringers are weather resistant and designed for long term usage. Includes guy-wire loop for additional support for large spans or spaces. E26 base sockets are perfect for any standard LED or incandescent bulbs giving you the creative freedom for your lighting display.

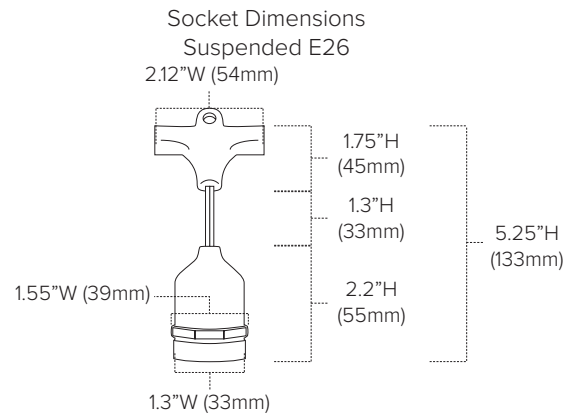
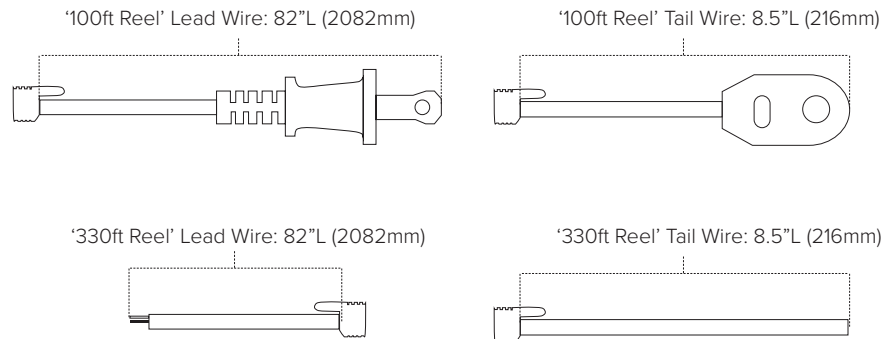
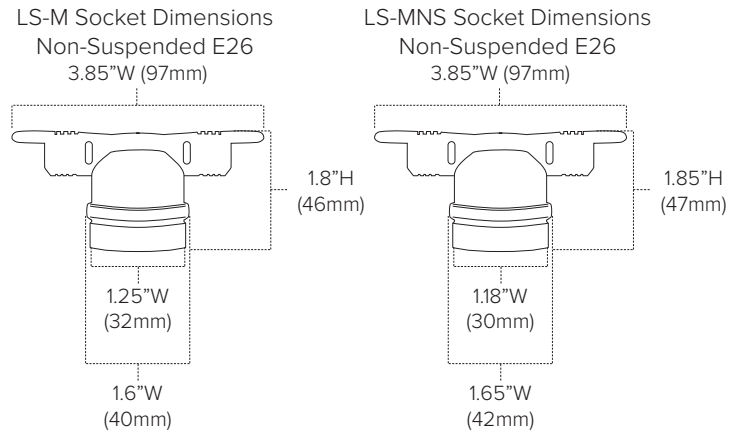
- Great decorative lighting product for patios, gazebos, building outlines, event tents, and retail walkways
- Factory-molded, formulated PVC sockets on heavy-duty wire form a tight weather resistant seal around bulbs
- Suitable for indoor and outdoor commercial applications
- E26 Medium base decorative bulbs sold separately



LS SERIES QUICK SPECS	
<b>SERIES</b>	LS-M
<b>INPUT VOLTAGE</b>	120V AC
<b>WATTAGE</b>	25W per socket
<b>MAX RUN</b>	1200W
<b>CABLE TYPE</b>	14AWG SJTW 2-Wire
<b>SOCKET TYPE</b>	E26
<b>SOCKET SPACING</b>	24"
<b>CUT INCREMENTS</b>	Field cuttable (Must be properly sealed)
<b>IP RATING</b>	IP64 - Wet Location

Interconnected strings must be properly sealed and strain relief protected with electrical tape at each connection point. For non-rated LS product, any cut ends must be sealed with LS-M/MS-END and/or electrical tape (ensure proper seal to preclude entrance of water). Keep lamps at least 4.9m/16ft away from pools and spas.

**LS SERIES QUICK DIMENSIONS**



## LS SERIES ORDERING INFORMATION

ITEM NUMBER	VOLTAGE	LENGTH	SOCKET TYPE	SPACING	COLOR	MAX RUN	IP RATING
LS-M-24-100-BK	120V AC	100ft (30m)	Non-Suspended E26	24"	Black	25W/Socket / 1200W Interconnected	IP64
LS-M-24-BK	120V AC	330ft (101m)	Non-Suspended E26	24"	Black	25W/Socket / 1200W Interconnected	IP64
LS-MNS-24-100-BK	120V AC	100ft (30m)	Non-Suspended E26	24"	Black	25W/Socket / 1200W Interconnected	IP64
LS-MNS-24-BK	120V AC	330ft (101m)	Non-Suspended E26	24"	Black	25W/Socket / 1200W Interconnected	IP64
LS-MS-24-100-BK	120V AC	100ft (30m)	Suspended E26	24"	Black	25W/Socket / 1200W Interconnected	IP64
LS-MS-24-BK	120V AC	330ft (101m)	Suspended E26	24"	Black	25W/Socket / 1200W Interconnected	IP64

**100Ft reels Include:** (1) 100ft length of commercial grade light string with 120V plug and terminated end

**330Ft bulk reels Include:** (1) 330ft length of commercial grade light string with bare wire lead and bare wire tail

## LS ACCESSORIES

ITEM NUMBER	DESCRIPTION
LS-SHADE-CLAS-7	25 Shades for LS2-MS & LS2-MNS Light String, 1.77in H x 7.44in Dia. Black Finish Exterior, White Finish Interior
LS-SHADE-DLX-6	25 Shades for LS2-MS & LS2-MNS Light String, 1.77in H x 6in Dia. Black Finish Exterior, White Finish Interior
LS-M/MS-END	Black plastic end cap
COMPATIBLE LAMPS	Pro Decorative Series, Standard S14s
LS-CABLE-60	60ft Catenary Cable Kit
LS-CABLE-110	110ft Catenary Cable Kit
LS-CABLE-500	500ft Catenary Cable Bulk Reel Includes
LS-LOCK-4	(4) Heavy duty cable locks for 1/8" catenary cable
LS-TT	Tensioning Tool

Catenary Cable Kit Includes: (1) 1/8" diameter catenary/guide cable for light string installation, (2) Heavy duty cable locks, and (1) Cable release key



LS-SHADE-CLAS-7



LS-SHADE-DLX-6



LS-M/MS-END



COMPATIBLE LAMPS



LS-CABLE-60  
LS-CABLE-110



LS-CABLE-500



LS-LOCK-4



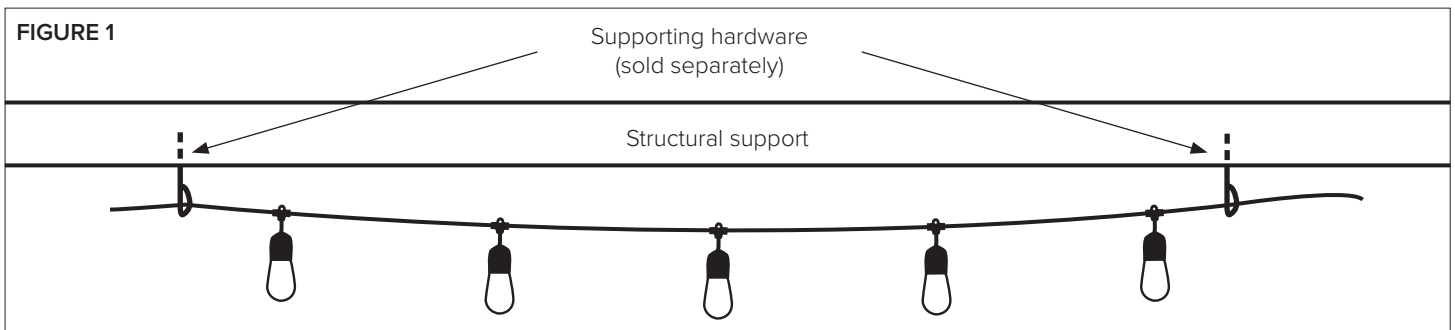
LS-TT

## ADDITIONAL INFORMATION

### SUSPENDING LIGHT STRINGS:

Light sockets must be suspended so that bulbs are facing down only. **DO NOT MOUNT THE LIGHT STRINGS WITH SOCKETS FACING UPWARD!**

1. Light string must be securely attached to a support structure at each end of each span. The maximum unsupported span distance for 48' Cord & Plug Light String is 20 feet (10 sockets).
2. Secure light string to supporting hardware (eyebolts, brackets, etc., not provided) using cable ties (not included). See Figure 1.
3. Ensure any cut ends are properly sealed to preclude the entrance of water.
4. For spans exceeding 20 feet, use properly rated cable support system and cable ties (neither are provided with the light string) and follow local codes for suspended cables and loads. See [www.americanlighting.com](http://www.americanlighting.com) for steel cable support systems, if needed.



#### LIMITED PRODUCT WARRANTY

Our products are warranted to be free from defects in material and workmanship for the warranty period listed. Warranty periods begin from the date of shipment from American Lighting Inc's warehouse to the original purchaser. Products that prove to be defective during their specific warranty period will be either repaired or replaced, at the sole discretion of American Lighting Inc. Claims for defective products must be submitted in writing to American Lighting Inc's RGA Department within the warranty period. Upon approval of such return, American Lighting Inc reserves the right to inspect the product for misuse or abuse. Claims for indirect or consequential damages or for product that, in American Lighting Inc's opinion, has been misused will be denied. This is a warranty of product reliability only and not a warranty of merchantability or fitness for a particular purpose. American Lighting Inc shall have no liability whatsoever in any event for payment of incidental or consequential damages, including, without limitations, installation costs and/or damages for personal injury and/or property. These products may represent a possible shock or fire hazard if improperly installed or altered in any way. This warranty does not apply to any product that has not been properly installed in accordance with current local codes and/or the National Electrical Code. Products that require a transformer, driver, or power supply must be used in conjunction with American Lighting Inc's recommended power supply to ensure safety and retain product warranty.

#### PRODUCT SPECIFICATIONS

For the latest product information, updates, instructions and details concerning specifications, colors, finishes, performance, installation and design, visit [www.americanlighting.com](http://www.americanlighting.com). Color may vary from the color printed herein due to limitations in photographic and printing processes. American Lighting Inc. reserves the right to change product specifications without notice. Other product specifications such as color temperature, wavelength characteristics and lumen output are subject to production limitations and may vary. LED technology is changing rapidly, and not all color temperatures and performance levels can be duplicated at a later time. Best practices include purchasing 10-15% more for a particular project on the same initial order where white LED color temperatures must be maintained over project and product life. Eventual product replacement should be considered at layout and design stages. Best practices also include testing connections and product performance prior to mounting and/or installing.

#### AVERAGE LIFE

Average incandescent lamp life, rated life and average life are terms used to describe the number of hours at which half of the lamps have failed. For LEDs, the hours of rated life specify the point where 70% of original lumen output is reached. Below this point, the effective life is over, however, the LED may still emit light. Individual results may vary with actual environmental conditions including, but not limited to, proper installation, ambient temperature and/or input voltage fluctuations.



## Features

- SMD LED powered by on-board driver for 120V AC use in medium base (E26) sockets
- Nickel base resists corrosion
- Available in transparent and opaque lenses
- Dimmable with most CL or TRIAC dimmers\*
- IP65 rated for wet location use
- cULus Listed for indoor/outdoor use
- Sold in boxes of 25 and cases of 200

## Available CCT



2400K 2700K

## Dimming Options

- CL (10-100%\*)
- TRIAC (10-100%\*)

## Listing / Ratings



## Pro Dec G50

Spherical LED G50 (50mm diameter) lamps for direct replacement of 10W incandescent versions, saving 86% in running costs.

## Technical Information

Series	PG50
Base	E26
Input Voltage	120V AC, 60Hz
CCT	2400K / 2700K
Wattage	1.4W
Lumens	Up to 60Lm (see individual product)
IP Rating	IP65
Dimmable	10-100%*
Rating	cULus Listed for indoor/outdoor use
Rated Life	25,000 hrs

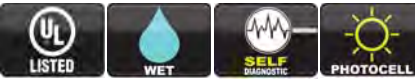
\*Minimum loads will apply

## Ordering Information

<b>PG50-E26-UWW</b>	Transparent / Ultra Warm White (2400K) / 30Lm
<b>PG50-E26-WW</b>	Transparent / Warm White (2700K) / 36Lm



**STANDARD**



**OPTIONAL**



**ILLUMINATION**

- Long lasting, efficient, ultra bright white LEDs.
- 12.0 watts (2 LEDs x 6.0 watt) per unit.
- Mirror-bright reflector and prismatic polycarbonate refractor.
- Can be used as a Normally-ON or Normally-OFF luminaire as well as on a switched circuit.
- Output of 1286 lumens in AC mode and 350 lumens in DC mode.

**ELECTRICAL**

- Universal 120-277 voltage.
- Charge rate/power "ON" LED indicator light and push-to-test switch for mandated code compliance testing.
- 4.8V long life, maintenance-free, rechargeable NiCd battery.
- Internal solid-state transfer switch automatically connects the internal battery to LED board for minimum 90-minute emergency illumination.
- Fully automatic solid-state, two rate charger initiates battery charging to recharge a discharged battery in 24 hours.
- Self-diagnostic feature performs monthly, bi-annual, and annual tests to ensure reliable operation and meets electrical and life safety codes.
- Photocell control sensor included as standard for use as dusk-to-dawn luminaire.
- Field-selectable wiring allows for AC operation of unit to be controlled using a wall-switch, photocell or other switching mechanism.

**MOUNTING**

- Universal knockout pattern on back plate for wall mount.
- Threaded opening at the top of the enclosure for conduit mount.

**HOUSING**

- Decorative, low profile, architectural design.
- Die-cast aluminum housing
- Durable powder-coated finishes in white, black, nickel and dark bronze finish.
- Sealed and gasketed.

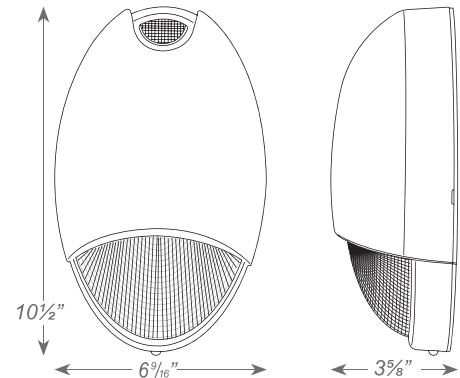
**OPTIONS**

- CW: Optional internal heater for extreme cold temperature applications (-30°C – 50°C).
- CEC: Certified to CEC under Title 20 Regulations.

**WARRANTY / LISTING**

- Five year warranty on all electronics and housing. Battery prorated for five years.
- Meets UL924, NFPA 101 Life Safety Code, NEC, OSHA, Local and State Codes.
- UL Listed for wet locations (0°C – 50°C).

**DIMENSIONS**



**ORDERING INFORMATION**

Sample Part Number: **DBEL-ACEM-HL-BR-SDT-PC**

MODEL	HOUSING COLOR		STANDARD FEATURE		STANDARD FEATURE		OPTIONS	
DBEL-ACEM-HL	W	White	SDT	Self-Diagnostics	PC	Photocell Sensor	CW	Cold Weather
	B	Black					CEC	Certified to TITLE 20
	BR	Dark Bronze						
	N	Nickel						

# DBEL-ACEM-HL

Decorative Outdoor LED  
AC/Emergency Unit

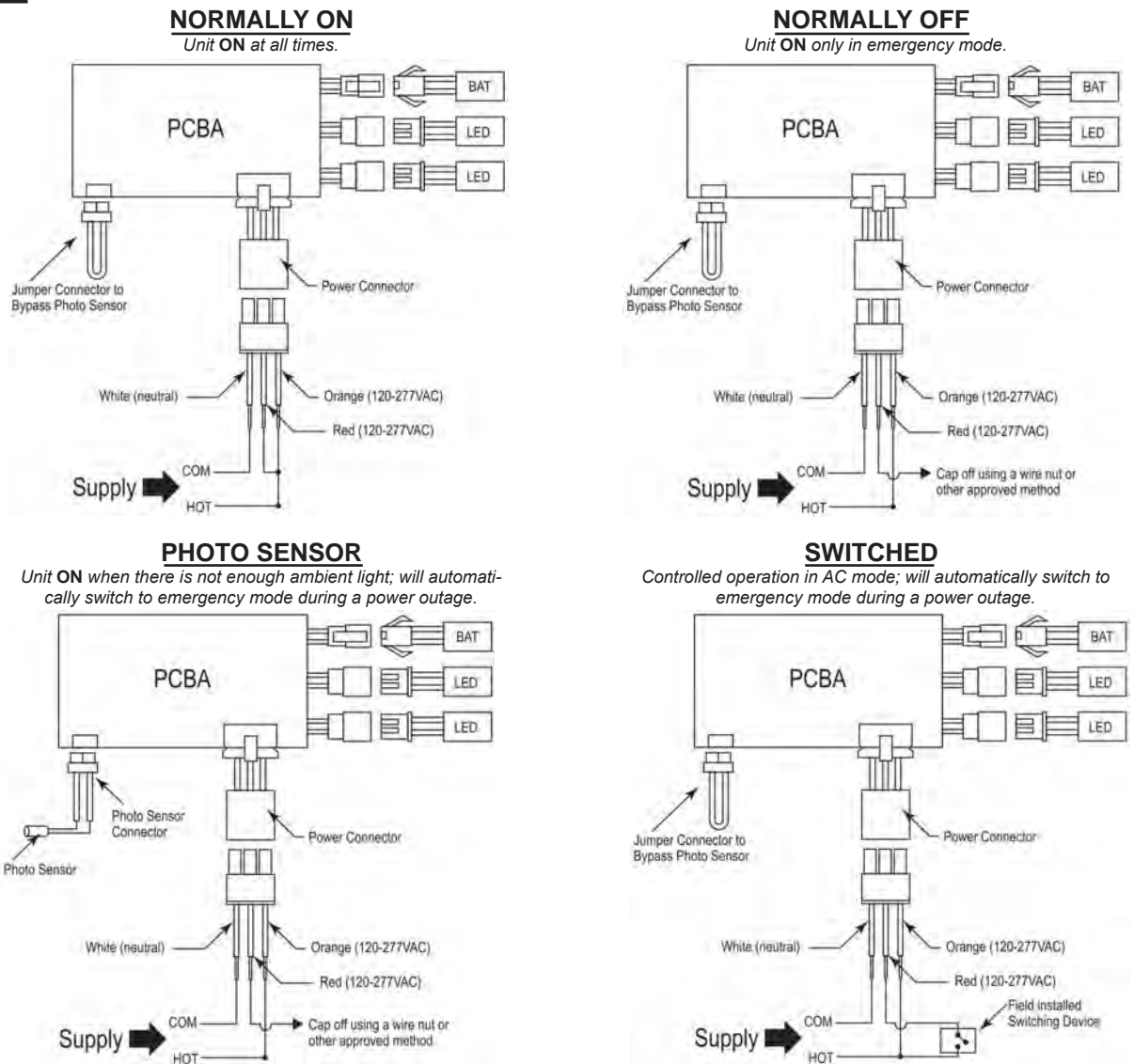


<b>Project:</b>	
<b>Type:</b>	
<b>Catalog #:</b>	

## ELECTRICAL INFORMATION

CATALOG NUMBER	INPUT WATTS (W)	INPUT AMPS (A)
DBEL-ACEM-HL SDT	2.5	0.04
DBEL-ACEM-HL SDT CW	2.8	0.026

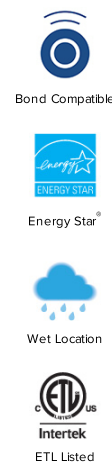
## WIRING DIAGRAM





## Simple - 44" Ceiling Fan

Item #:	F786-CL
UPC Code:	706411060731
Collection:	Simple
Category:	EXTERIOR FAN
Product Type:	Ceiling Fan
Descriptive Finish 1:	Coal
ETL Certificate:	4009339



### MEASUREMENTS

Length:	44
Width:	44
Height:	12.75
Product Weight:	9.26
Ceiling to Blade:	11.25
Ceiling to Lowest Point:	12.75
Downrod Included:	Yes
Downrod Length 1:	6.0
Downrod Width 1:	0.75
Wire Length:	8" (EXTENDING WIRES 18"+24")
Blade Material:	ABS
Slope:	Yes
Reversible Rotation:	Yes
Number of Blades:	3
Blade Pitch:	26 DEGREES
Blade Sweep:	44
Reversible Blades:	No
Motor Size:	DC 123 x 30 MM
Motor Type:	DC

### LAMPING

LED:	No
Bulb Included:	No
Light Kit Compatible:	Yes
Light Kit Included:	No
Light Kit Adapter:	CUSTOM 15W LED LIGHT KIT AVAILABLE (sold separately)

### CONTROLS

Pull Chain Control:	No
Remote Included:	Yes
Remote Control SKU:	RC400
Wall Control Included:	No
Compatible Wall Controls:	WC400
Integrated Smart Control:	No
Compatible Smart Control:	BD-1000

### SHIPPING

Cartons Per Unit:	1
Case Pack:	1
Ship Length:	22.75
Ship Width:	8.63
Ship Height:	9.0
Ship Weight:	11.0
Ship Volume:	1.023
Small Parcel:	Yes

	Low	L/M	Medium	M/H	High
RPM	51				196
Amps	0.06				0.59
Watts	3.89				48.06
CFM	1615.0				5323.0
CFM/Watts	415.17				110.76

WARNING: Handling this product can expose you to chemicals including lead, which is known to the State of California to cause cancer and birth defects or other reproductive harm. Wash hands with soap and water after installing, handling, cleaning or otherwise touching this product. For more information go to: [www.P65Warnings.ca.gov](http://www.P65Warnings.ca.gov).

For additional information, please contact Customer Care: 1-800-221-7977 | Product depicted on this spec sheet is protected by United States Federal and/or State laws including US Patent, Trademark and/or Copyright and unfair competition laws. Unauthorized reproduction or use carries severe legal penalties.

**Stormwater Management Report  
for  
Fatpour Tap Works  
200 S. Main Street  
Mt. Prospect, Illinois  
JHA Project No. H710  
December 19, 2025**

**Prepared By:  
Jacob and Hefner Associates, Inc.  
1333 Butterfield Road, Suite 300  
Downers Grove, Illinois 60515**

**Prepared For:  
Aria Group  
830 North Blvd  
Oak Park, Illinois 60301**



12/19/2025

Engineer

Date

Jason A. Cebulski

Illinois Registration No. 062-069783

Expires 11/30/2027



**JACOB & HEFNER**  
ASSOCIATES



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  - Runoff Coefficient Calculations
  - 10-Year Inlet Capacity Calculations
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## **Project Description**

On behalf of our client, Aria Group, Jacob and Hefner Associates (JHA) is proposing site improvements at an existing vacant parcel of land located at 200 S. Main Street, , in Mt. Prospect, Illinois. The project consists of the construction of a new restaurant at the subject location. Construction activities include the installation of new car parking areas, patios, underground utilities, stormwater management facilities, and all associated erosion control measures.

## **Existing Conditions**

In the existing conditions, the site is currently vacant. Stormwater generally flows north and east into an existing combined storm sewer system under S. Main Street..

## **Proposed Conditions**

The site will be developed with a new restaurant with new parking areas. Runoff from the proposed development will be collected via a new interior storm sewer system and conveyed to the proposed detention ponds. To address the stormwater management requirements of the *Cook County Watershed Management Ordinance (WMO)*, the proposed storm sewer system will be constructed to convey the 100-year runoff from the proposed improvements.

Runoff from the proposed site will be directed to a proposed detention pond north of the proposed building. The pond will be sized to contain the volume necessary to maintain a specific runoff release rate for the site. Per The the maximum release rate required for the site is 0.20 cfs per acre. An exhibit has been included showing the proposed tributary areas and Drainage Plan. The detention pond outfall connects to an existing combined sewer that is tributary to the Metropolitan Water Reclamation District of Chicago's facilities.

Additionally, a stormwater management summary table for the proposed drainage improvements has been provided on the following page and is supported by the calculations and exhibits contained in this report.



---

## **Stormwater Management Summary**

**Pond Tributary Drainage Area: 0.40 Acres**

Proposed Site Impervious Area: 0.31 Acres  
(CN=98)

Proposed Site Pervious Area: 0.09 Acres  
(CN=80)

Composite Runoff Curve Number: 94

### **Release Rate Summary:**

Des Plaines Release Rate: 0.20 cfs/ac

Allowable Release Rate: 0.08 cfs

Actual Release Rate (1-3/8" Restrictor @ I=669.25): 0.08 cfs

### **Detention Summary**

Required Detention @ Actual Release Rate: 7,207 cf

Provided Detention @ HWL 652.50: 7,575 cf

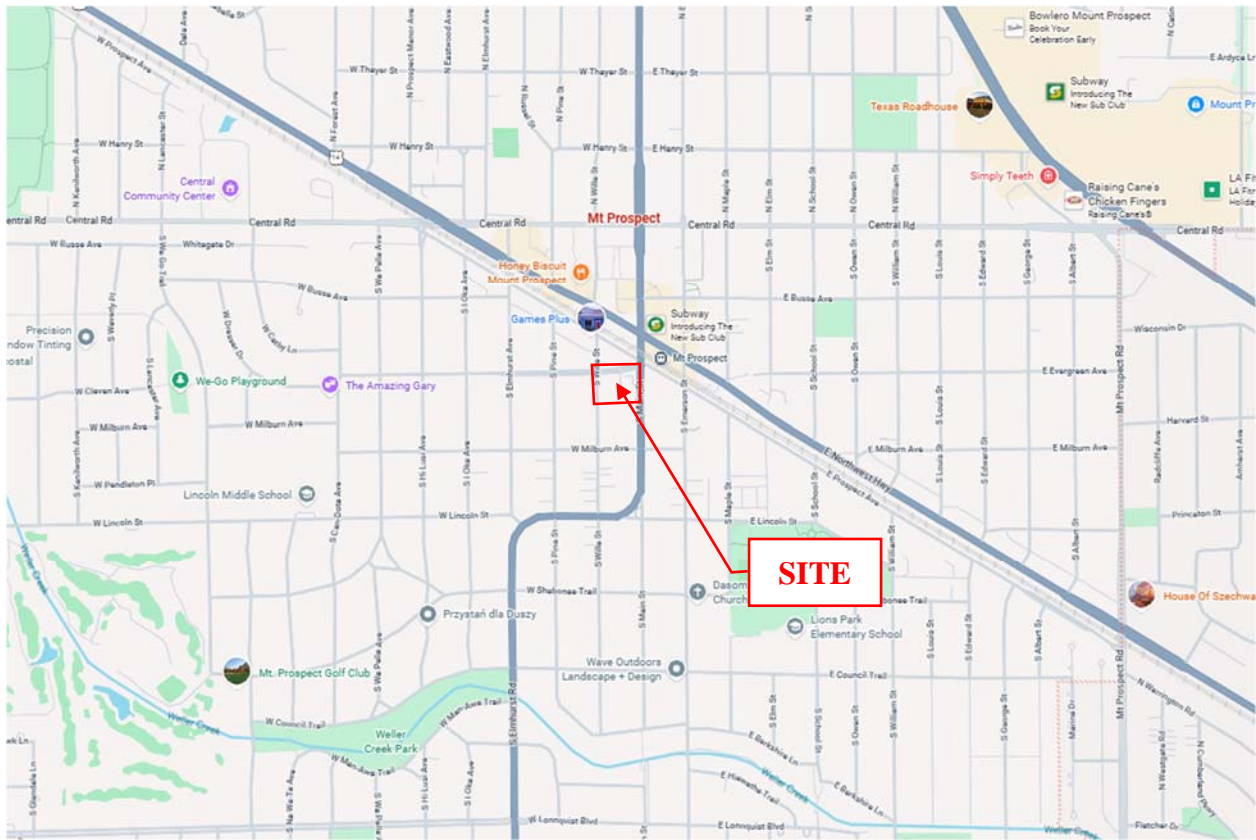


## **Project Maps**

- Location Map
- Aerial Map
- FEMA Firm Map
- Wetlands Map
- Hydrologic Soil Group Map

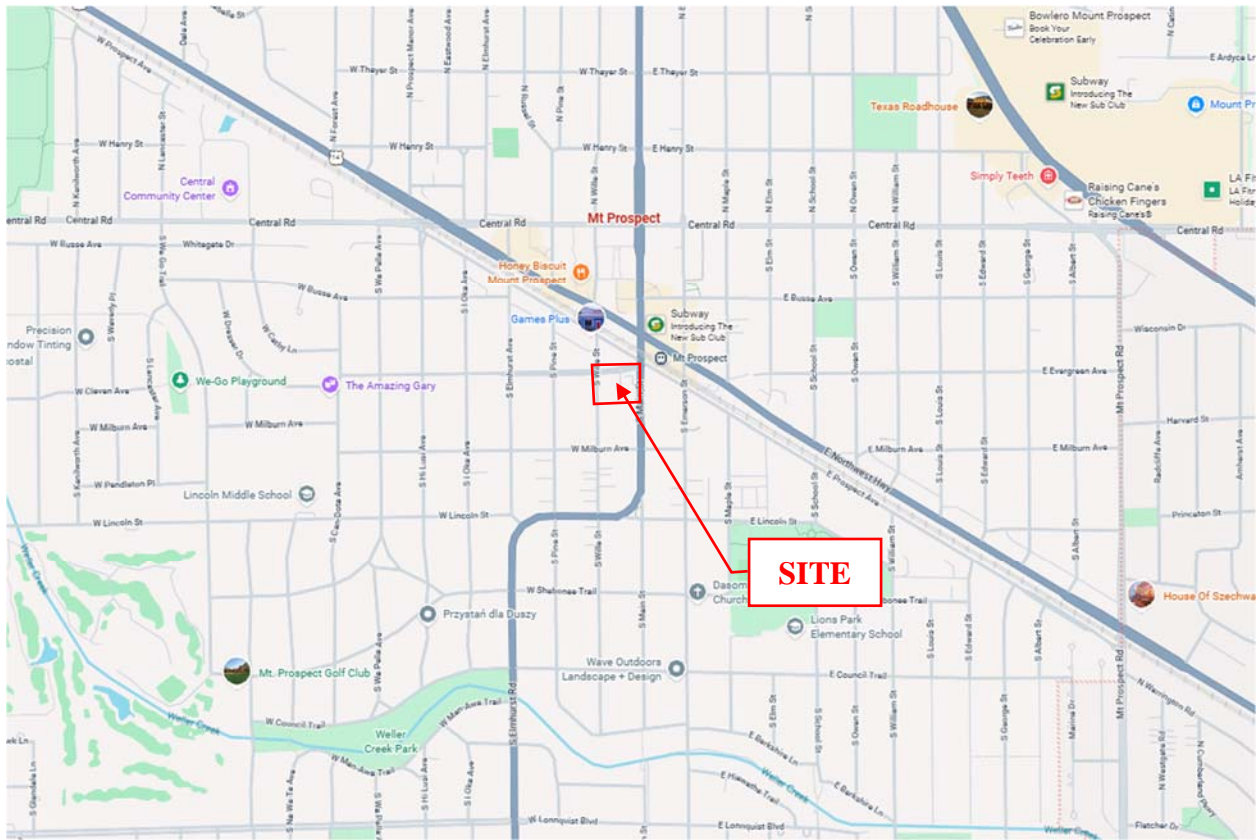


## Location Map





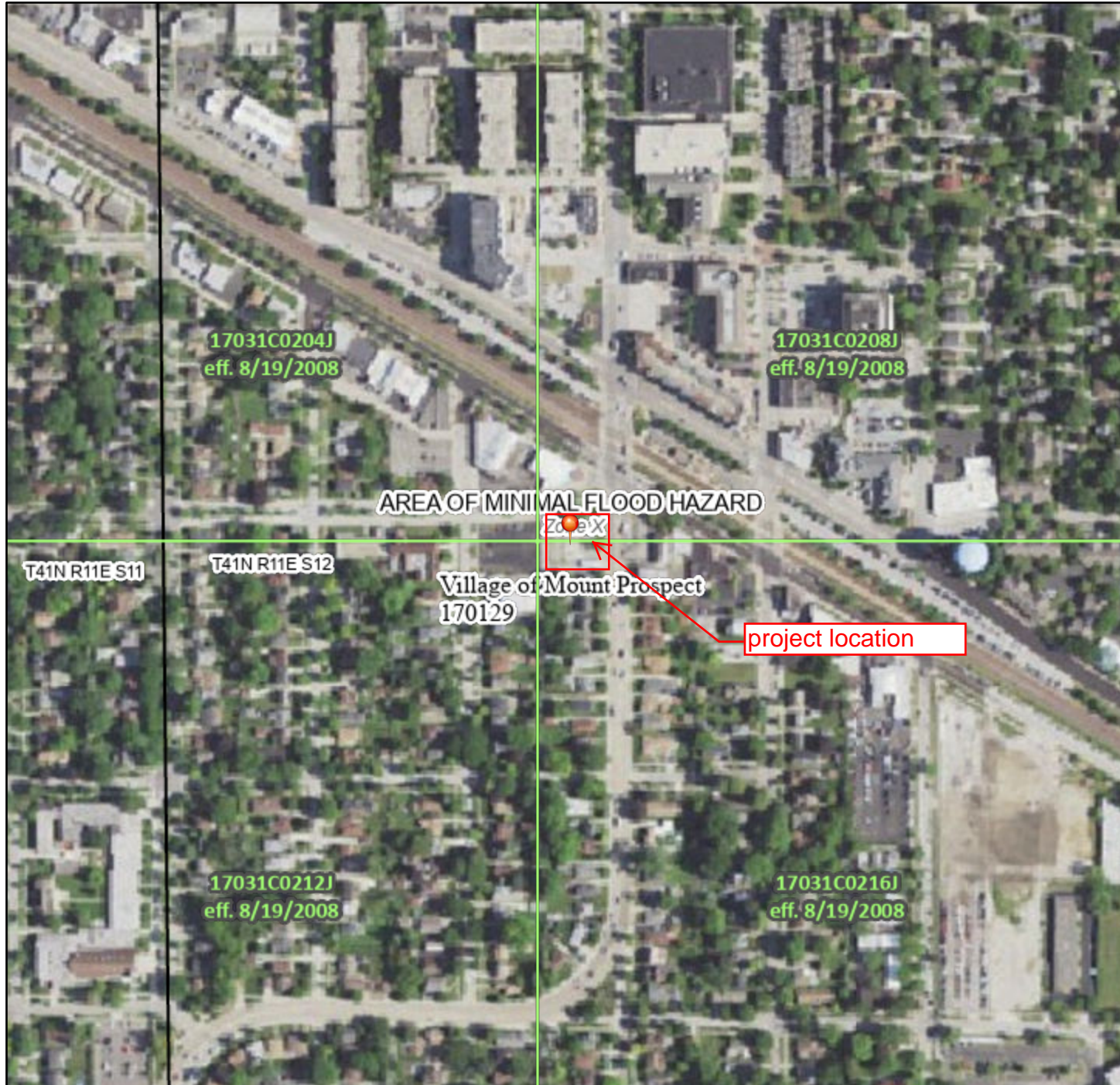
## Location Map



# National Flood Hazard Layer FIRMMette



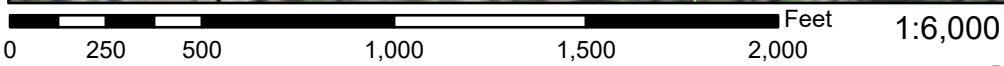
87°56'33"W 42°3'58"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- |                                    |  |  |
|------------------------------------|--|--|
| <b>SPECIAL FLOOD HAZARD AREAS</b>  |  | Without Base Flood Elevation (BFE)<br><i>Zone A, V, A99</i>  |
|                                    |  | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i><br>Regulatory Floodway  |
| <b>OTHER AREAS OF FLOOD HAZARD</b> |  | 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
|                                    |  | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>  |
|                                    |  | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>  |
|                                    |  | Area with Flood Risk due to Levee <i>Zone D</i>  |
| <b>OTHER AREAS</b>                 |  | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>   |
|                                    |  | Effective LOMRs  |
| <b>GENERAL STRUCTURES</b>          |  | Area of Undetermined Flood Hazard <i>Zone D</i>  |
|                                    |  | Channel, Culvert, or Storm Sewer   |
| <b>OTHER FEATURES</b>              |  | Levee, Dike, or Floodwall  |
|                                    |  | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation<br>17.5  |
| <b>MAP PANELS</b>                  |  | Coastal Transect   |
|                                    |  | Base Flood Elevation Line (BFE)  |
|                                    |  | Limit of Study   |
|                                    |  | Jurisdiction Boundary  |
|                                    |  | Coastal Transect Baseline  |
|                                    |  | Profile Baseline   |
|                                    |  | Hydrographic Feature   |
|                                    |  | Digital Data Available   |
|                                    |  | No Digital Data Available  |
|                                    |  | Unmapped   |
|                                    |  | The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.                                     |



87°55'55"W 42°3'32"N

Basemap Imagery Source: USGS National Map 2023

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

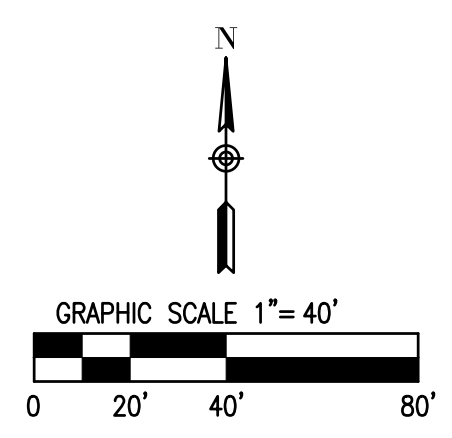
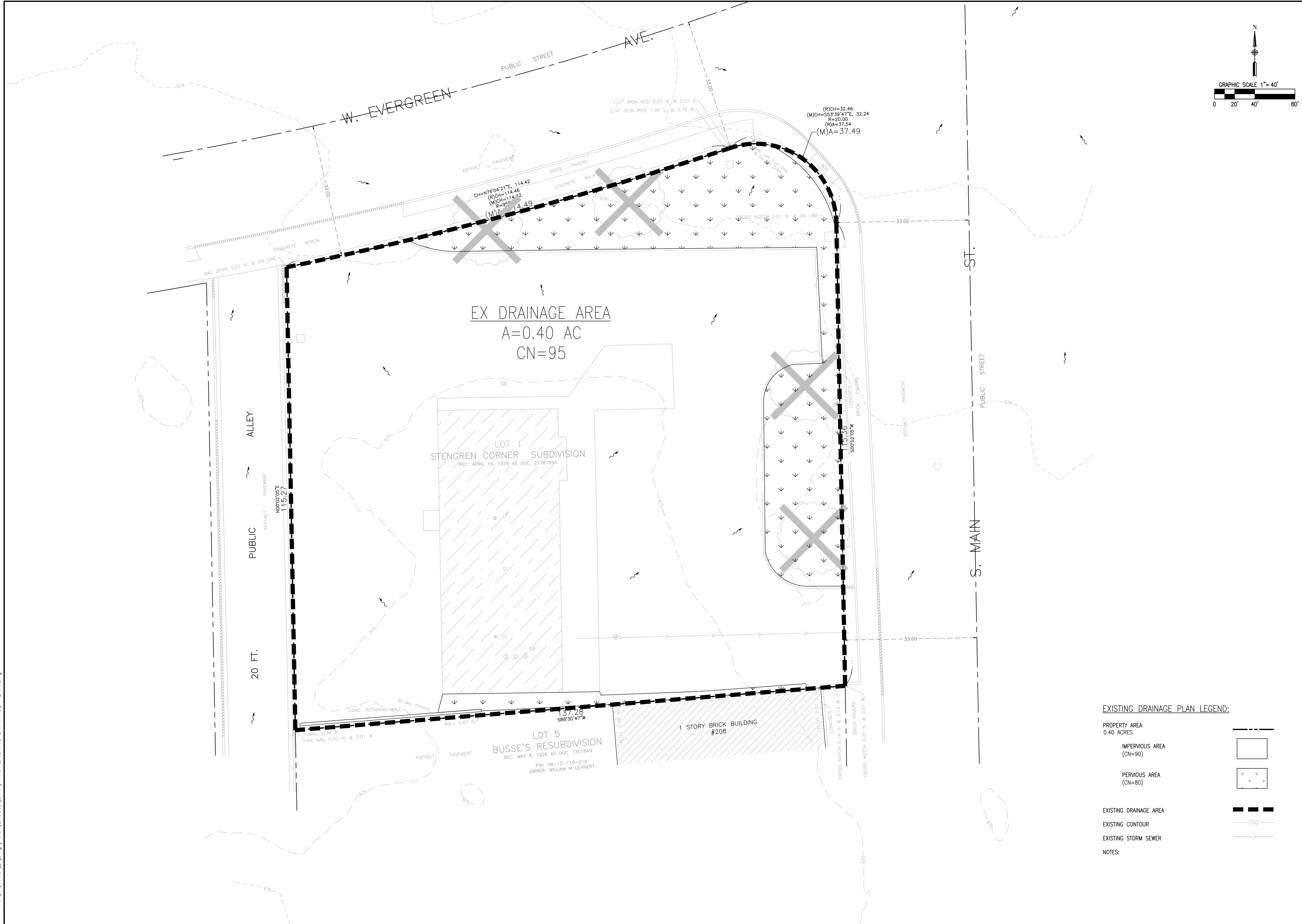
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **12/19/2025 at 8:55 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



## **Stormwater Detention Calculations**

- Existing Drainage Exhibit – EDP
- Proposed Drainage Exhibit – PDP
- MWRD Calculators
- Composite Runoff Curve Number Calculations
- Detention Sizing Hydrographs

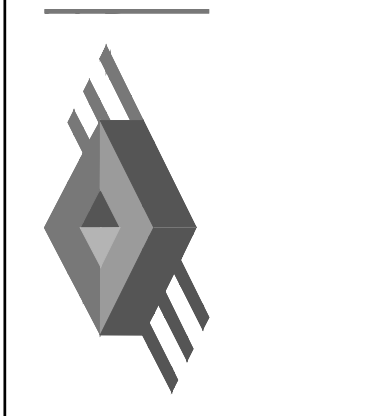


- EXISTING DRAINAGE PLAN LEGEND:**
- PROPERTY AREA  
0.40 ACRES
  - IMPERVIOUS AREA  
(CN=90)
  - PERVIOUS AREA  
(CN=80)
  - EXISTING DRAINAGE AREA
  - EXISTING CONTOUR  
-700-
  - EXISTING STORM SEWER
  - NOTES:

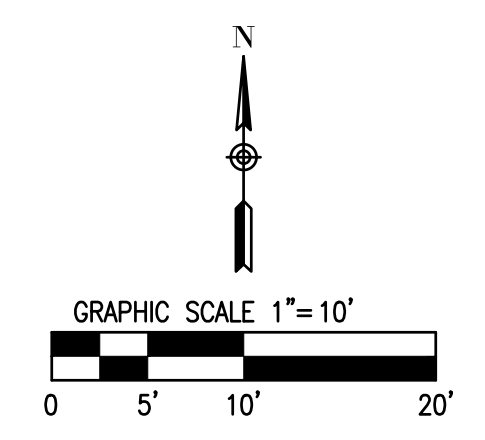
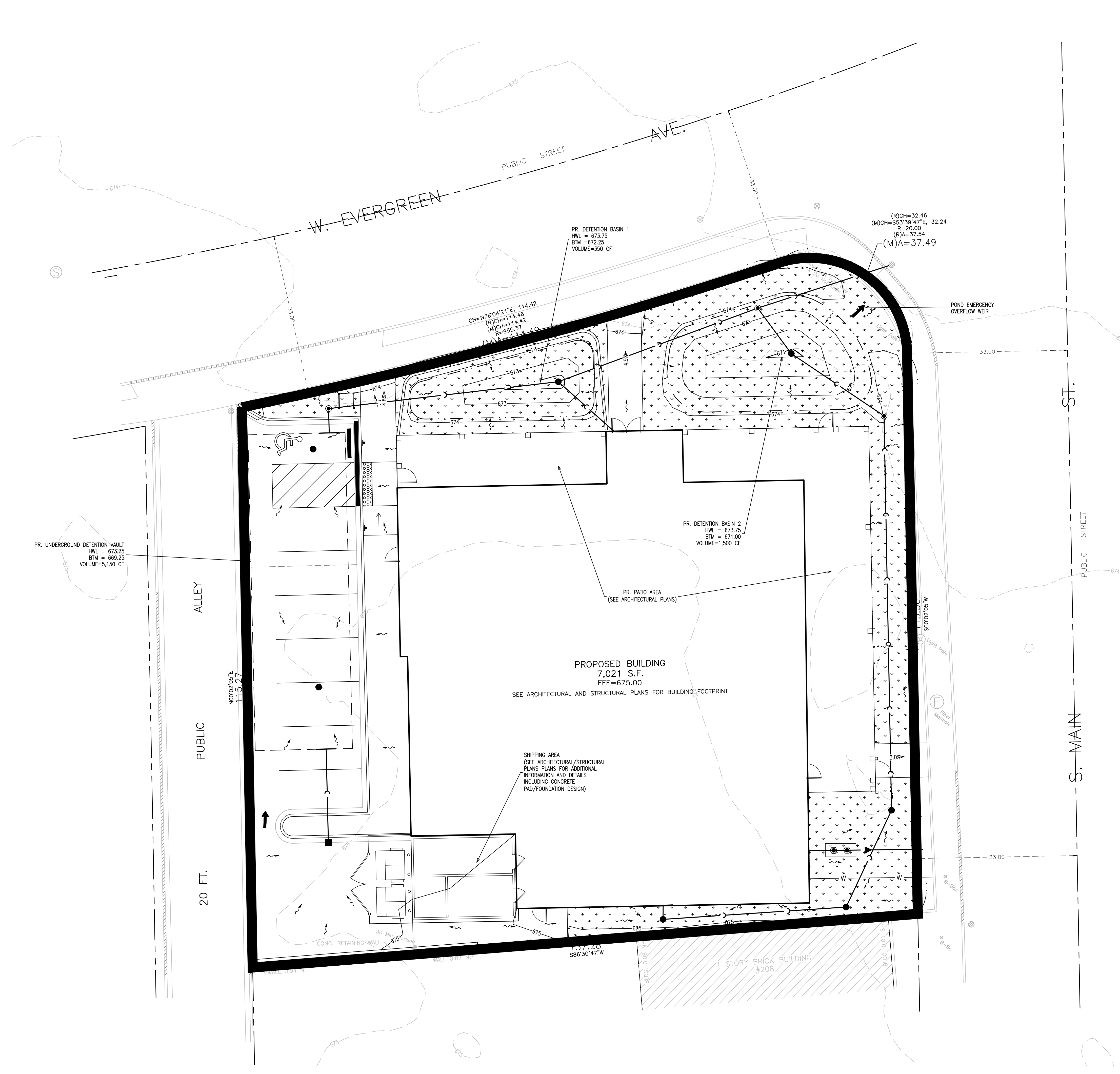
1	ORIGINAL EXHIBIT DATE	12/19/25
No.	Description	Date

**EXISTING DRAINAGE EXHIBIT**  
**FATPOUR TAP WORKS**  
**ARIA GROUP**  
**MT. PROSPECT, ILLINOIS**

**JACOB & HEFNER ASSOCIATES**  
 1333 Butterfield Rd, Suite 300, Downers Grove, IL 60515  
 PHONE: (630) 652-4600, FAX: (630) 652-4601  
 www.jacobandhefner.com



**1" = 10'**  
**H710**  
**EDP**



**PROPOSED DRAINAGE EXHIBIT LEGEND:**

- POND TRIBUTARY AREA
- IMPERVIOUS AREA (CN=98)
- PERVIOUS AREA (CN=80)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRAINAGE DIRECTION
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- OVERFLOW ROUTE

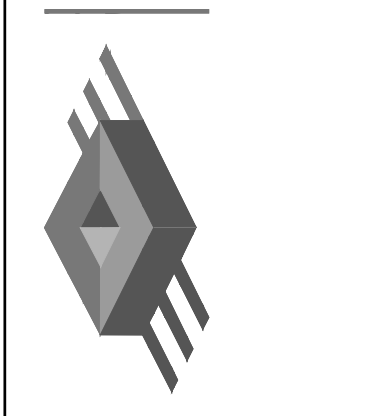
**STORMWATER MANAGEMENT SUMMARY TABLE:**

DEVELOPMENT AREA:	0.40 ACRES
IMPERVIOUS AREA:	0.31 ACRES
PERVIOUS AREA:	0.09 ACRES
CURVE NUMBER:	95
<b>RELEASE RATE SUMMARY</b>	
ALLOWABLE RELEASE RATE: (0.20 CFS/AC)	0.08 CFS
ACTUAL RELEASE RATE: (1-3/8" RESTRICTOR @ 669.25)	0.08 CFS
REQUIRED DETENTION:	7,207 CF
PROVIDED DETENTION: (HWL=673.75)	7,575 CF

No.	Description	Date
1	ORIGINAL EXHIBIT DATE	12/19/25

**PROPOSED DRAINAGE PLAN**  
**FATPOUR TAP WORKS**  
**ARIA GROUP**  
**MT. PROSPECT, ILLINOIS**

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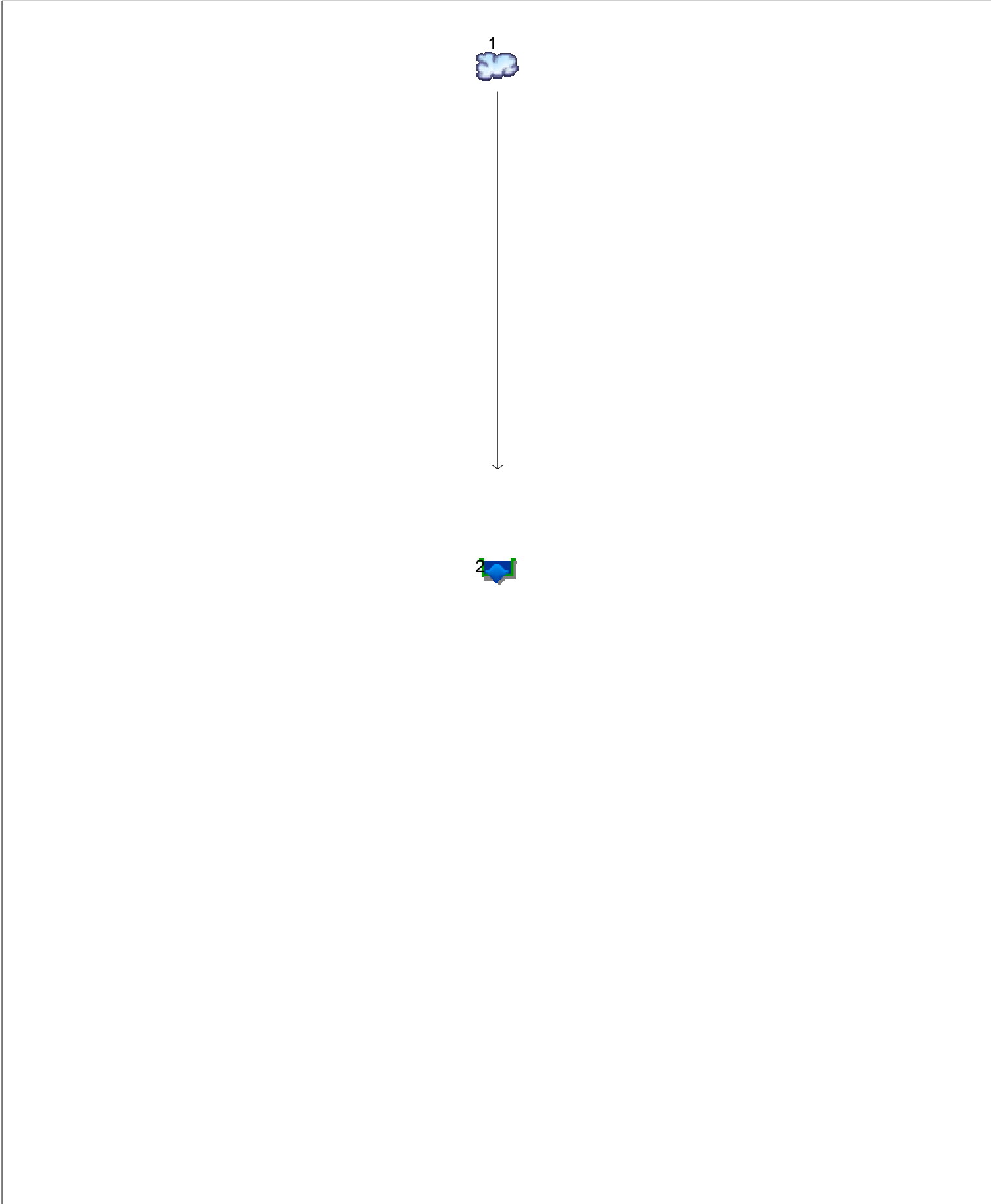
1" = 10'  
H710  
PDP



- Watershed Model Schematic..... 1**
  
- 100 - Year**
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# Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024



# Hydrograph Report

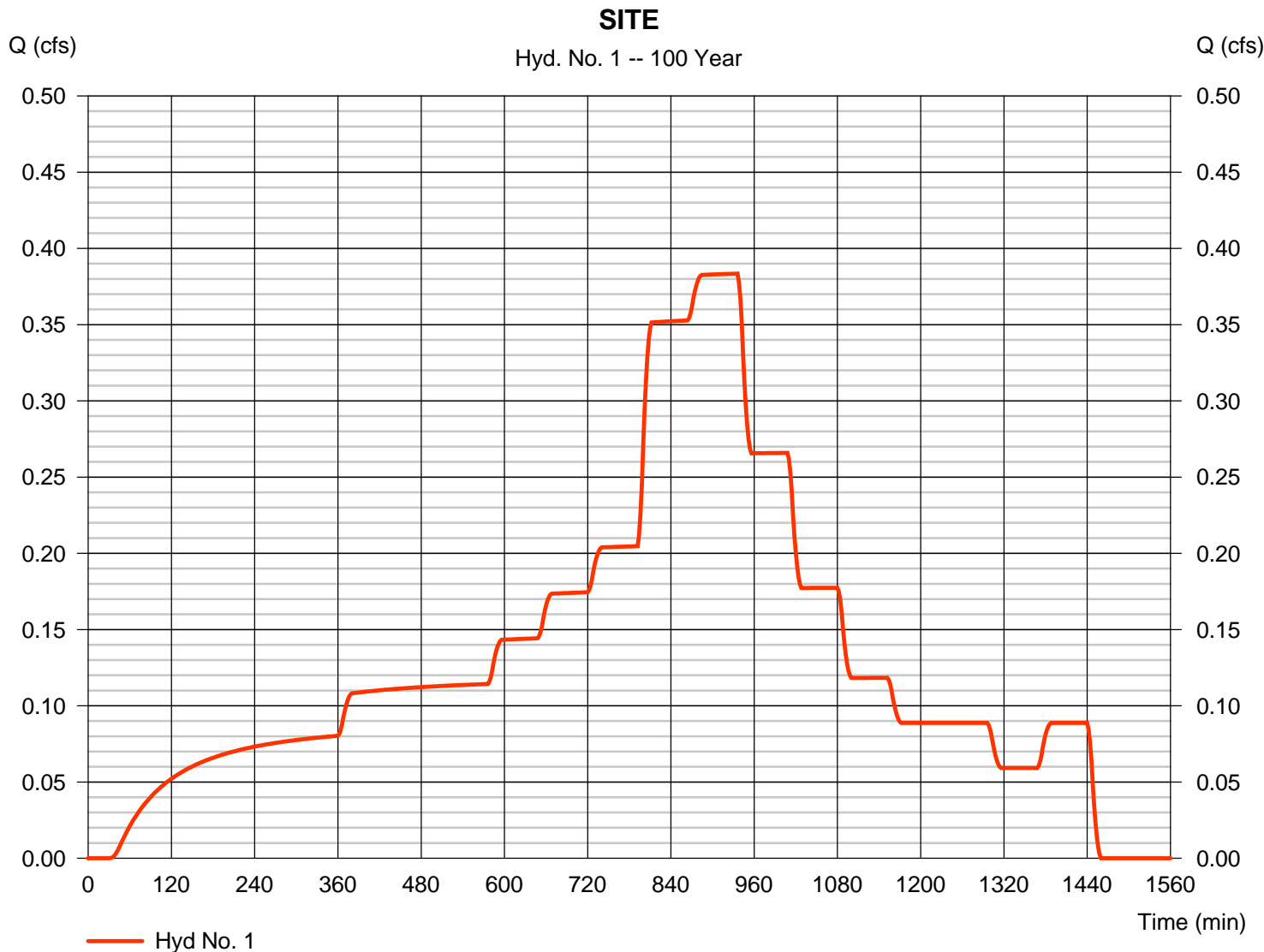
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

Thursday, 12 / 18 / 2025

## Hyd. No. 1

### SITE

Hydrograph type	= SCS Runoff	Peak discharge	= 0.383 cfs
Storm frequency	= 100 yrs	Time to peak	= 936 min
Time interval	= 2 min	Hyd. volume	= 11,933 cuft
Drainage area	= 0.400 ac	Curve number	= 95
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 10.00 min
Total precip.	= 8.57 in	Distribution	= Huff-3rd
Storm duration	= 24.00 hrs	Shape factor	= 484



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2024

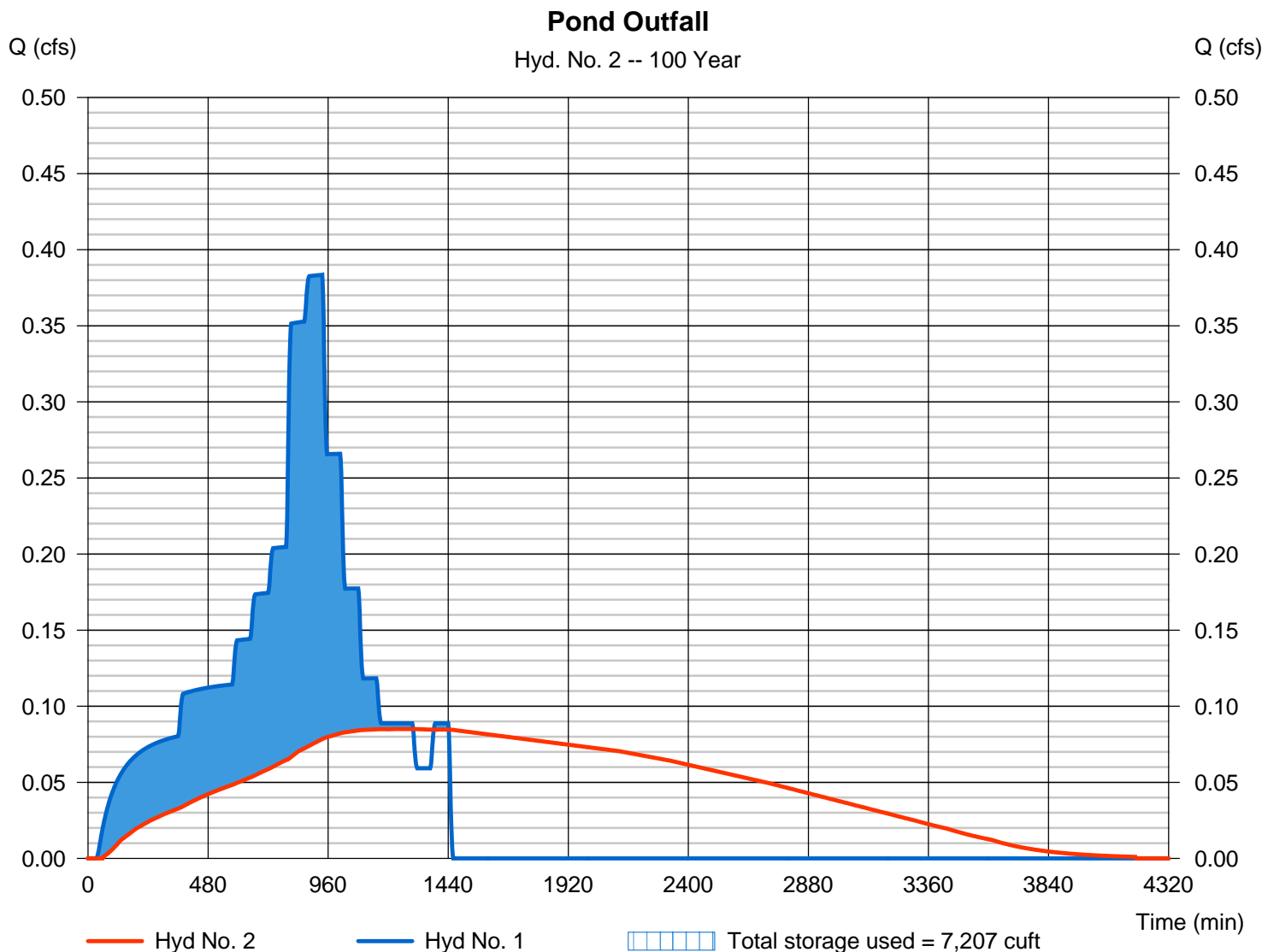
Thursday, 12 / 18 / 2025

## Hyd. No. 2

### Pond Outfall

Hydrograph type	= Reservoir	Peak discharge	= 0.085 cfs
Storm frequency	= 100 yrs	Time to peak	= 1300 min
Time interval	= 2 min	Hyd. volume	= 11,919 cuft
Inflow hyd. No.	= 1 - SITE	Max. Elevation	= 703.60 ft
Reservoir name	= Site Det. Ponds	Max. Storage	= 7,207 cuft

Storage Indication method used.



# Pond Report

## Pond No. 1 - Site Det. Ponds

### Pond Data

Contours -User-defined contour areas. Average end area method used for volume calculation. Beginning Elevation = 699.25 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	699.25	1,200	0	0
1.40	700.65	1,200	1,680	1,680
1.50	700.75	1,200	120	1,800
2.50	701.75	1,500	1,350	3,150
3.00	702.25	1,800	825	3,975
4.50	703.75	3,000	3,600	7,575

### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 1.25	0.00	0.00	0.00
Span (in)	= 1.25	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 699.25	0.00	0.00	0.00
Length (ft)	= 0.00	0.00	0.00	0.00
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 0.00	0.00	0.00	0.00
Crest El. (ft)	= 0.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= ---	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000	(by Contour)		
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	699.25	0.00	---	---	---	---	---	---	---	---	---	0.000
1.40	1,680	700.65	0.05 ic	---	---	---	---	---	---	---	---	---	0.048
1.50	1,800	700.75	0.05 ic	---	---	---	---	---	---	---	---	---	0.049
2.50	3,150	701.75	0.06 ic	---	---	---	---	---	---	---	---	---	0.064
3.00	3,975	702.25	0.07 ic	---	---	---	---	---	---	---	---	---	0.070
4.50	7,575	703.75	0.09 ic	---	---	---	---	---	---	---	---	---	0.087



## **Storm Sewer Sizing Calculations**

- Storm Sewer Tributary Area Exhibit – ST-1
- Runoff Coefficient Calculations
- 10-Year Inlet Capacity Calculations
- 10-Year Storm Sewer Sizing Calculations





Runoff Coefficient (RC) Calculations

Project: Fatpour Tap Works  
Location: Mt. Prospect, IL  
Project #: H710

By: KJC Date: 12/19/2025  
Checked: JAC Date: 12/19/2025

PROPOSED STORM SEWER SYSTEM				
Sub Basin	A <sub>i</sub>	A <sub>p</sub>	A <sub>T</sub>	RC
	(Acre)	(Acre)	(Acre)	
RG1	0.02	0.00	0.02	0.95
RG2	0.04	0.00	0.04	0.95
I8	0.03	0.00	0.03	0.95
CB3	0.00	0.02	0.02	0.45
CB5	0.00	0.04	0.04	0.45
CB7	0.00	0.01	0.01	0.45
CB8	0.00	0.01	0.01	0.45
CB9	0.00	0.01	0.01	0.45
RD10	0.10	0.00	0.10	0.95
RD2	0.10	0.00	0.10	0.95

A<sub>T</sub> = Total Area  
A<sub>p</sub> = Pervious Area

I = Inlet  
CB = Catch Basin  
RG = Riser Grate  
RD = Roof Drain

**Notes**

- 1) Impervious Runoff Coefficient = 0.95
- 2) Pervious Runoff Coefficient = 0.45
- 3) Permeable Paver Runoff Coefficient = 0.75



100-YEAR INLET CAPACITY CALCULATIONS

Project: Fatpour Tap Works  
Location: Mt. Prospect, IL  
Project #: H710

By: KJC  
Checked: JAC

Date: 12/19/2025  
Plan Date: 12/19/2025

STRUCTURE #	DRAINAGE AREA (AC)	RUNOFF COEFFICIENT	FLOW (CFS)	PONDING DEPTH (ft)	PERIMETER OF GRATE (FT)	OPEN AREA OF GRATE (S.F.)	WEIR FLOW CAPACITY (CFS)	ORIFICE FLOW CAPACITY (CFS)	GRATE TYPE
RG1	0.02	0.95	0.21	0.50	6.0	0.90	NA	3.06	IDOT Type 1
RG2	0.04	0.95	0.41	0.50	6.0	0.90	NA	3.06	IDOT Type 1
I8	0.03	0.95	0.31	0.50	4.3	1.00	NA	3.40	IDOT Type 11
CB3	0.02	0.45	0.10	0.50	6.0	0.90	NA	3.06	IDOT Type 1
CB5	0.04	0.45	0.19	0.50	6.0	0.90	NA	3.06	IDOT Type 1
CB7	0.01	0.45	0.05	0.50	6.0	0.90	NA	3.06	IDOT Type 1
CB8	0.01	0.45	0.05	0.50	6.0	0.90	NA	3.06	IDOT Type 1
CB9	0.01	0.45	0.05	0.50	6.0	0.90	NA	3.06	IDOT Type 1

flow  
Q=ca

c = Runoff Coefficient  
i = Intensity (in./hr), 10.81

a = Drainage Area (acres)  
C = 0.6  
A = Open Area of Grate (SF)  
g = 32.2 ft/s<sup>2</sup>  
h = Ponding Above Rim (feet)  
P = Perimeter of grate (feet)

weir flow  
Q=3.3 P (h)<sup>1.5</sup>

orifice flow  
Q=CA(2gh)<sup>1/2</sup>

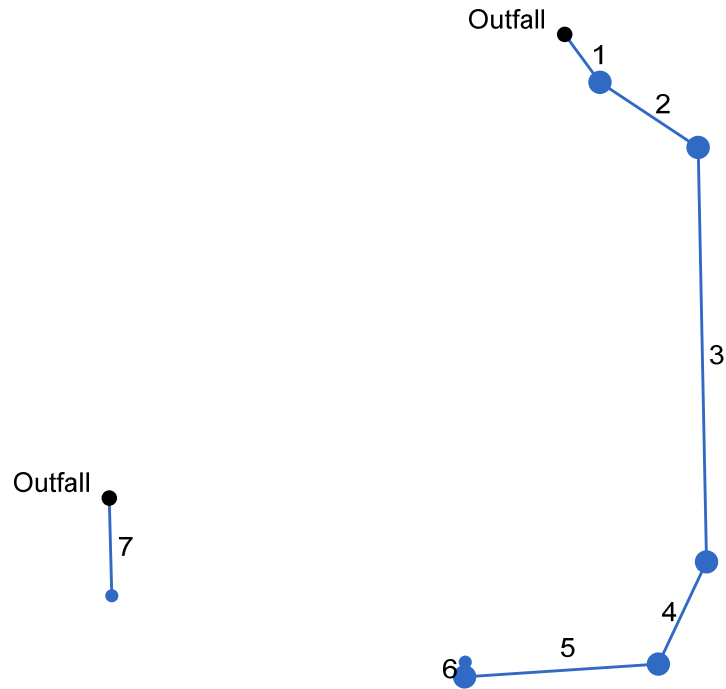
Recurrence Interval (years)  
10

Grate Geometry

1P - IDOT Type 1 (Neehan R2504-D) = 0.90-SF  
Perimeter = 6.0 LF

11P - IDOT Type 11 (Neehan R3281-A) = 1.00-SF  
Perimeter = 4.3 LF

# Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan



# Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
1	End	11.620	0.04	0.17	0.45	0.02	0.12	10.0	12.0	10.1	1.26	7.39	5.23	12	4.30	668.75	669.25	669.03	669.72	673.55	671.00	Pipe 11
2	1	23.002	0.00	0.12	0.00	0.00	0.11	0.0	11.7	10.2	1.08	4.50	3.11	12	1.60	669.25	669.62	669.72	670.06	671.00	674.04	Pipe 10
3	2	81.128	0.01	0.12	0.45	0.00	0.11	10.0	10.8	10.5	1.12	4.17	3.35	12	1.37	669.62	670.73	670.06	671.18	674.04	674.33	Pipe 9
4	3	21.998	0.01	0.12	0.45	0.00	0.10	10.0	10.5	10.6	1.08	4.17	3.25	12	1.37	670.73	671.03	671.18	671.47	674.33	674.25	Pipe 8
5	4	37.760	0.01	0.11	0.50	0.00	0.10	10.0	10.1	10.8	1.07	4.17	3.25	12	1.37	671.03	671.55	671.47	671.98	674.25	674.64	Pipe 8 (1)
6	5	2.905	0.10	0.10	0.95	0.09	0.09	10.0	10.0	10.8	1.02	10.45	3.18	12	8.61	671.55	671.80	671.98	672.22	674.64	675.00	Pipe 7
7	End	19.226	0.03	0.03	0.95	0.03	0.03	10.0	10.0	10.8	0.32	4.45	2.79	12	1.56	670.50	670.80	670.68	671.03	674.16	674.00	Pipe 1

Project File: H710 Storm Sewer Sizing.stm

Number of lines: 7

Run Date: 12/19/2025

NOTES: Intensity = 157.45 / (Inlet time + 12.90) ^ 0.85; Return period = Yrs. 100 ; c = cir e = ellip b = box

# Hydraulic Grade Line Computations

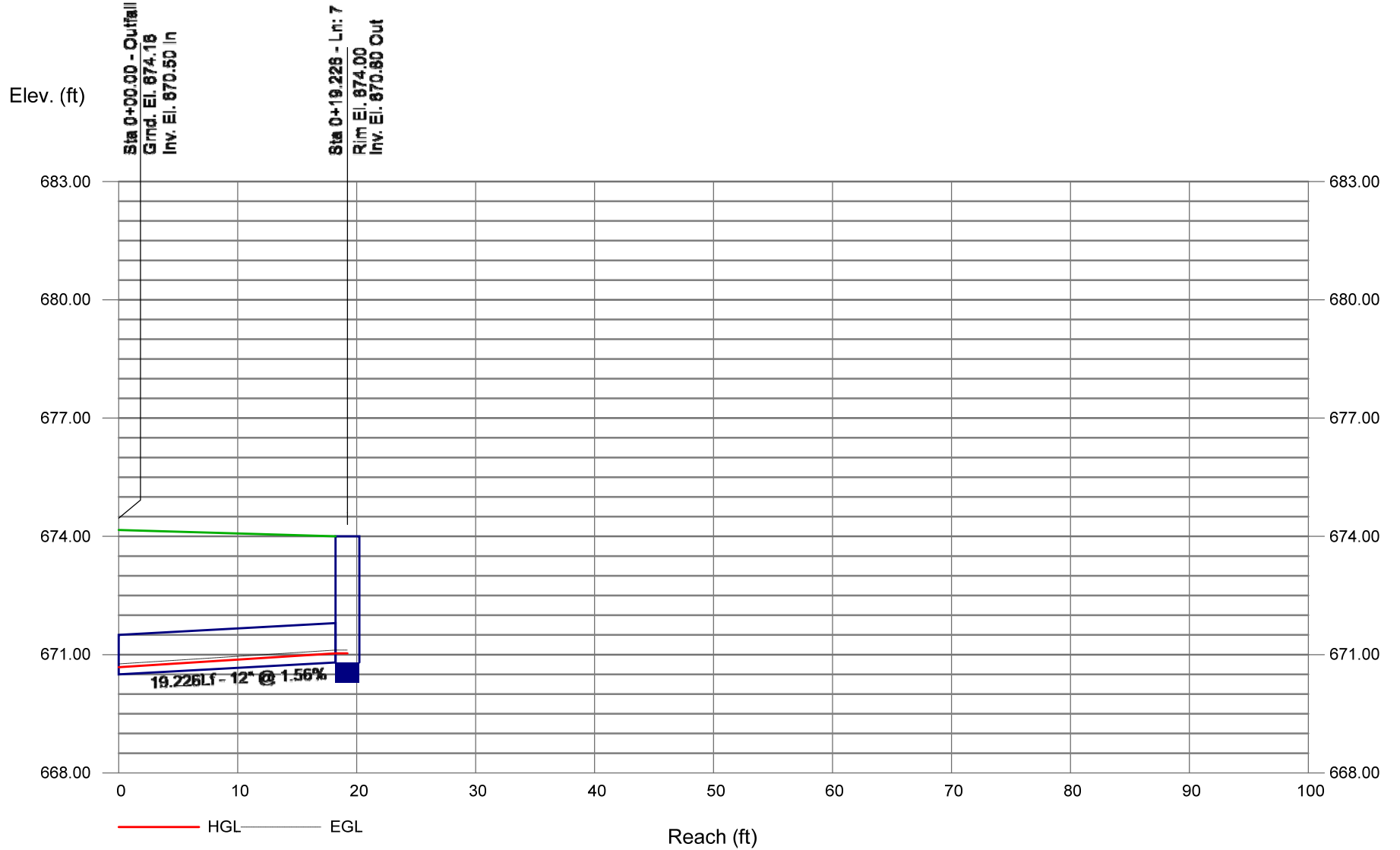
Line	Size (in)	Q (cfs)	Downstream								Len (ft)	Upstream								Check		JL coeff (K)	Minor loss (ft)
			Invert elev (ft)	HGL elev (ft)	Depth (ft)	Area (sqft)	Vel (ft/s)	Vel head (ft)	EGL elev (ft)	Sf (%)		Invert elev (ft)	HGL elev (ft)	Depth (ft)	Area (sqft)	Vel (ft/s)	Vel head (ft)	EGL elev (ft)	Sf (%)	Ave Sf (%)	Enrgy loss (ft)		
1	12	1.26	668.75	669.03	0.28	0.18	7.01	0.18	669.21	0.000	11.620	669.25	669.72	0.47**	0.37	3.44	0.18	669.91	0.000	0.000	n/a	0.39	0.07
2	12	1.08	669.25	669.72	0.47	0.33	2.95	0.17	669.89	0.000	23.002	669.62	670.06 j	0.44**	0.33	3.28	0.17	670.22	0.000	0.000	n/a	0.85	n/a
3	12	1.12	669.62	670.06	0.44	0.33	3.39	0.17	670.23	0.000	81.128	670.73	671.18	0.44**	0.34	3.31	0.17	671.35	0.000	0.000	n/a	0.50	n/a
4	12	1.08	670.73	671.18	0.44	0.33	3.21	0.17	671.34	0.000	21.998	671.03	671.47 j	0.44**	0.33	3.28	0.17	671.64	0.000	0.000	n/a	0.90	n/a
5	12	1.07	671.03	671.47	0.44	0.33	3.23	0.17	671.64	0.000	37.760	671.55	671.98 j	0.43**	0.33	3.26	0.17	672.15	0.000	0.000	n/a	1.00	n/a
6	12	1.02	671.55	671.98	0.43	0.32	3.13	0.16	672.15	0.000	2.905	671.80	672.22 j	0.42**	0.32	3.22	0.16	672.39	0.000	0.000	n/a	1.00	n/a
7	12	0.32	670.50	670.68	0.18*	0.10	3.28	0.08	670.76	0.000	19.226	670.80	671.03	0.23**	0.14	2.30	0.08	671.11	0.000	0.000	n/a	1.00	n/a

Project File: H710 Storm Sewer Sizing.stm

Number of lines: 7

Run Date: 12/19/2025

Notes: \* depth assumed; \*\* Critical depth.; j-Line contains hyd. jump ; c = cir e = ellip b = box



# Storm Sewer Profile

